



**Town of Washington**  
**Zoning Board of Appeals**  
 P. O. Box 383  
 Washington Depot, CT 06794  
 Land Use Office: 860-868-0423

**ZBA USE ONLY:**

Appl. # ZBA- 1140  
 Date Rec'd 3/24/22  
 Fees Paid \$60 \$100  
 Cash/Chk # #109 \*108  
 Chk writer R. Roddick, C. Roddick

**APPLICATION FOR VARIANCE(S)**

**APPLICANT INFORMATION**

(If there are two or more applicants, provide the following information for each)

Name: Rebecca McMackin Roddick, Christopher Roddick  
 Home Address: 10 New Preston Hill Rd.  
 Business Address: \_\_\_\_\_  
 Home Phone: 203 217 7755 Business Phone: \_\_\_\_\_  
 Email Address: rebalex@gmail.com

**PROPERTY INFORMATION**

Street Address: 10 New Preston Hill Rd.  
 Assessor's Lot No.: 11347 Zoning District(s): R1 Acreage of Property: 1.579  
 Owner(s) of Record: Rebecca McMackin Christopher Roddick  
 Home Address: \_\_\_\_\_  
 Business Address: \_\_\_\_\_  
 Home Phone: \_\_\_\_\_ Business Phone: \_\_\_\_\_  
 Record Owner(s) Deed is filed in the Land Records at: Vol 0253 Page 0986  
 Is the property located within 500 feet of any town line? Yes \_\_\_\_\_ No

Signature of Owner (if Owner is not the Applicant)

**NOTE: Property History information must be provided on next page of application.**

**VARIANCE(S) REQUESTED**

The following variances are requested from the Town of Washington Zoning Regulations:  
 (Attach additional sheets if necessary.)

Variance from Section 11.6 Type/amount\* of variance: Set Back, ~~18' 8"~~  
 Variance from Section \_\_\_\_\_ Type/amount\* of variance: 18' 8"  
 Variance from Section \_\_\_\_\_ Type/amount\* of variance: \_\_\_\_\_  
 Variance from Section \_\_\_\_\_ Type/amount\* of variance: \_\_\_\_\_

\*As an example of the type and amount of a requested variance, an applicant might seek a variance of five feet from a setback regulation (e.g., from 25 feet to 20 feet) or five percent from a lot coverage limitation (e.g., from 15% to 20%).

**PROPERTY HISTORY**

Was the lot created as part of an approved subdivision plan? Yes \_\_\_\_\_ No

If yes: State the date of approval of the plan: \_\_\_\_\_

Map number of the plan as filed in the Land Records: \_\_\_\_\_

Have the lot lines been revised since plan approval? Yes \_\_\_\_\_ No \_\_\_\_\_

Provide copies of recorded deeds or maps showing all such revisions.

If no: At what volume and page of the Land Records is the property first described as a separate parcel of land in a deed or other record?\* Vol. \_\_\_\_\_ Page \_\_\_\_\_

\*NOTE: If the property is first described as a separate parcel in one or more documents recorded before August 1956, provide the volume and page of the last such document that was recorded before August 1956.

Have any previous variances been granted to this property? Yes \_\_\_\_\_ No

If yes, attach a copy of each such variance to this application and state the volume and page at which each such variance is recorded in the Land Records. Vol. \_\_\_\_\_ Page \_\_\_\_\_

**EXPLANATION OF REQUEST FOR VARIANCES**

In the spaces below, explain why each requested variance is needed. The explanation should include, at a minimum, a description of the purpose of the variance and the hardship justifying the request. Attach additional sheets, if needed. **The applicant has the burden of proving to the board that each requested variance is justified.** Refer to "Guidelines for Variance Applications" for guidance.

In order to make our home energy efficient, we are seeking a variance to wall in, insulate, and enlarge an existing entryway. This is to create an well insulated mudroom that will allow a second more secure exterior door to our Kitchen/main entry.

**ADDITIONAL REQUIREMENTS**

The applicant must submit:

1. **One original** and eight copies of a class "A-2" survey indicating all existing and proposed structures, septic systems, wells and water sources, easements, rights of way and legal restrictions, as well as all measurements and distances, needed to show the extent and nature of the requested special exception.
2. **Building and Elevation (if applicable) Plans** giving complete details with scaled measurements (see "Guidelines" for explanation).
3. **Filing fees** of \$100 and \$60, in separate checks, payable to the Town of Washington.
4. **Required by hearing date:** Evidence of certificate of mailing to the owners of all property located within 200 feet of the property involved in this application, notifying them of the date, time and location of the hearing and the nature of the requested variance.
5. **Signed Letter of Representation** (if applicable)

**CERTIFICATION**

I hereby certify that the information I have provided in this application, including any attached sheets, is true, and I acknowledge that any false information may cause the denial or revocation of a Variance.

*[Handwritten Signature]*  
Signature of Applicant

1.579 ± Acres

# Zoning Location Survey

Map Prepared For

Rebecca M. McMakin-Roddick  
Christopher J. Roddick

10 New Preston Hill Road  
Washington, Connecticut

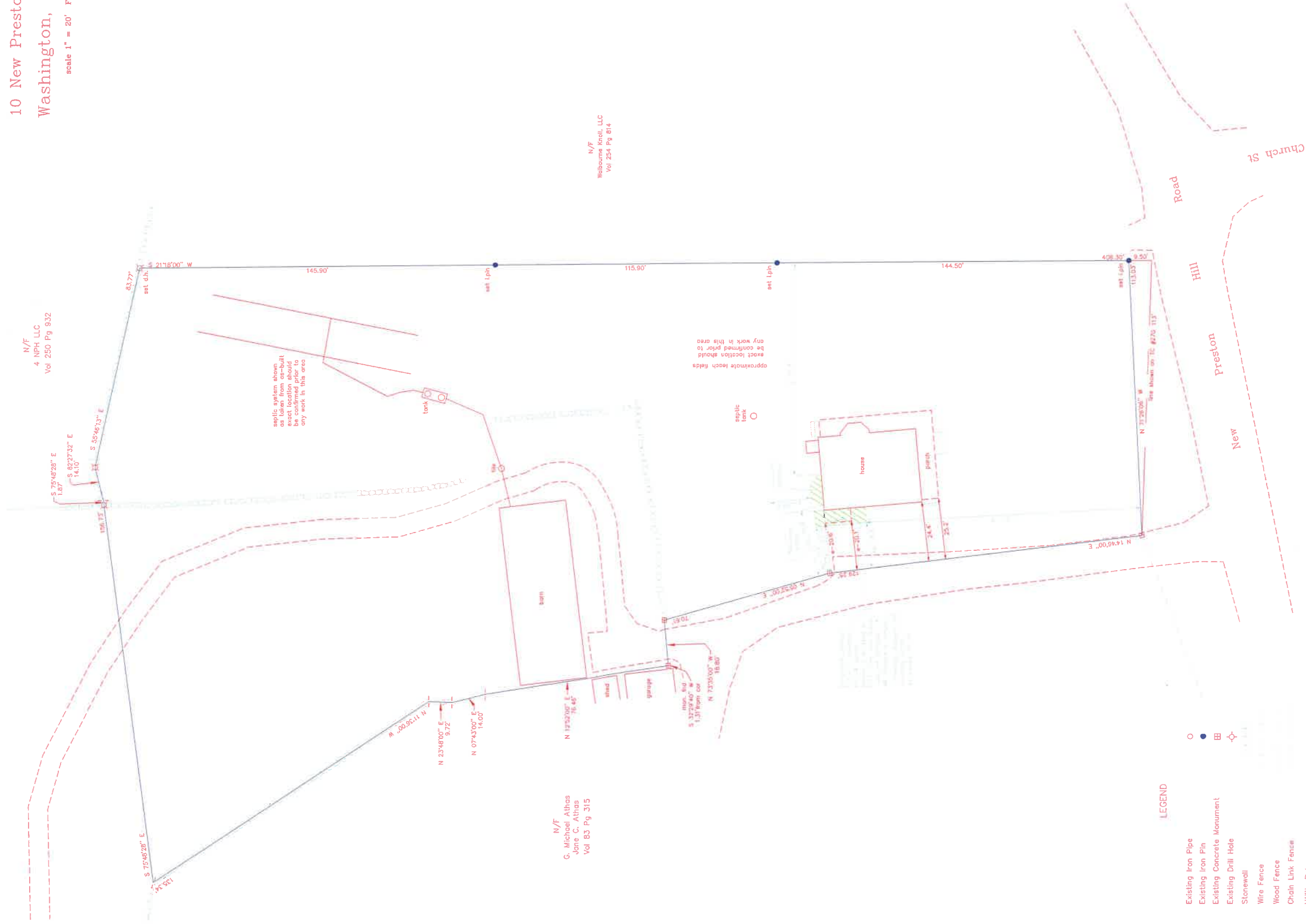
scale 1" = 20' February 2022

N/F  
Rebecca M. McMakin-Roddick  
Christopher J. Roddick  
Vol 253 Pg 866  
Parcel 2

N/F  
4 NPH LLC  
Vol 250 Pg 832

N/F  
G. Michael Athas  
John C. Athas  
Vol 83 Pg 315

N/F  
Wellbourne Knoll, LLC  
Vol 254 Pg 814



septic system shown  
as taken from as-built  
plans. No assurance  
is made that the system  
exists or is in good  
working order. It should  
be confirmed prior to  
any work in this area.

approximate leach fields  
exact location should  
be confirmed prior to  
any work in this area.

## LEGEND

- Existing Iron Pipe
- Existing Iron Pin
- Existing Concrete Monument
- ⊕ Existing Drill Hole
- Stonewall
- Wire Fence
- Wood Fence
- Chain Link Fence
- Utility Pole
- Stonewall Remains
- Deciduous Tree
- Conifer Tree



## Notes

- 1) This map and survey have been prepared in accordance with section 20-300b, through section 20-300b-20 of the Regulations of the State Agencies Minimum Standards for Surveys and Mapping, effective July 1, 2019.
- 2) Refer to maps by D.E. Duffy, G.P., Burnham and I.M. Alex.
- 3) Parcel is located in R-1 Zone.
- 4) Refer to Vol 83 Pg 315 and Vol 83 Pg 548 for rights pertaining to this parcel.
- 5) Refer to Vol 83 Pg 318 for a modification and clarification of some of those rights and easements.
- 6) The location of any underground piping or utilities should be verified prior to any work commencing.

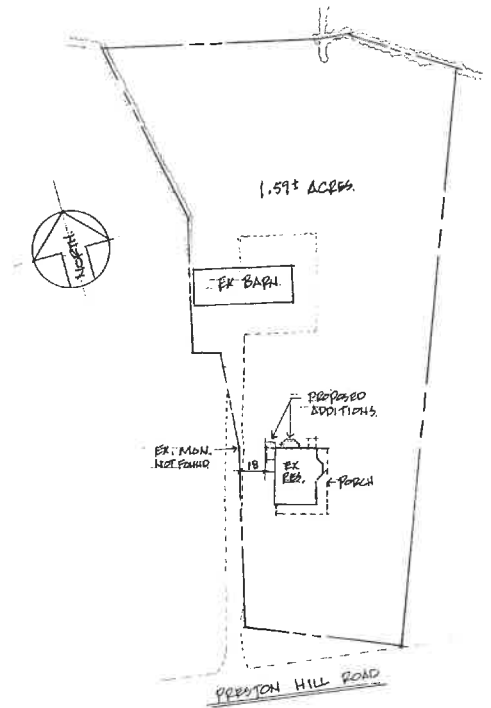


To my knowledge and belief, this map is substantially correct as noted hereon.

*Roy V. Cheney*

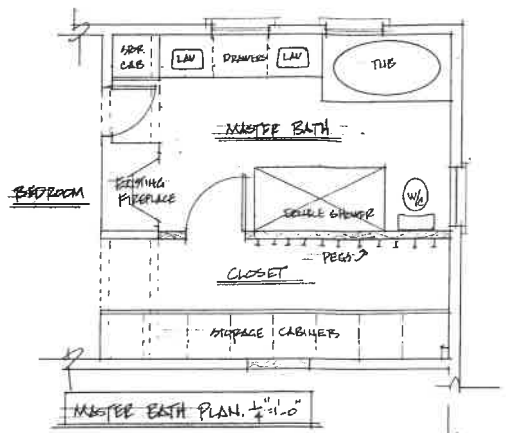
Roy V. Cheney LLS # 18468  
Bethlehem, Connecticut  
MAP NOT VALID WITHOUT EMBOSSED SEAL  
Map Signed and Sealed Electronically



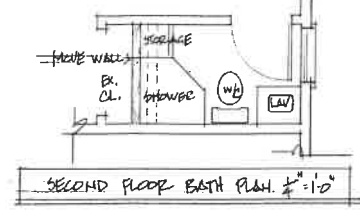


SITE PLAN 1"=60'-0"

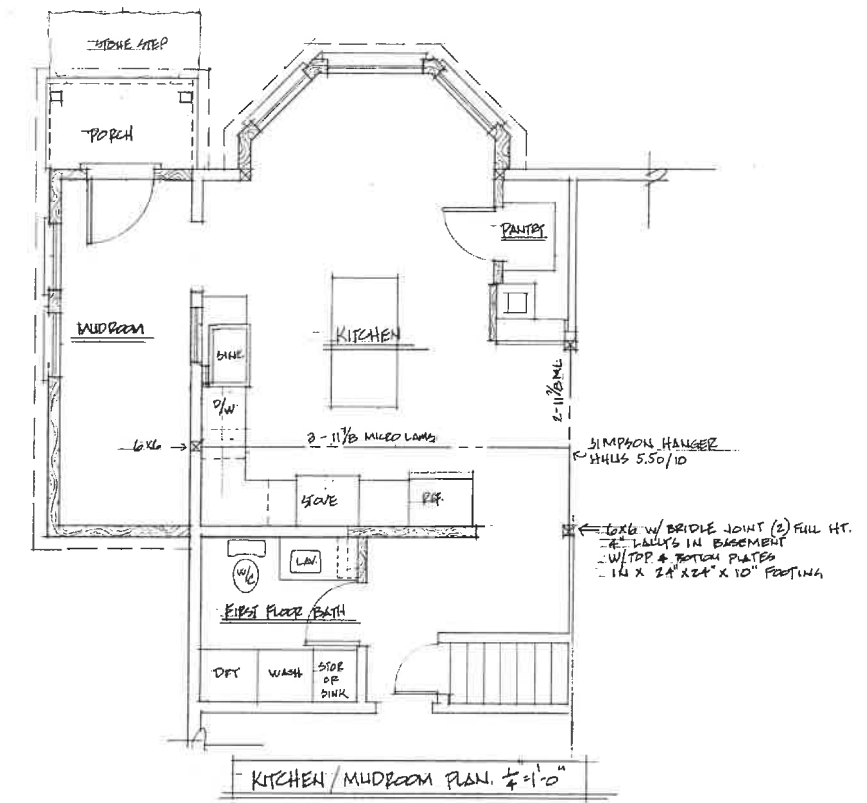
10' SETBACK BASED ON FIELD MEASUREMENTS  
 ESTABLISHED W/ NEIGHBORS SURVEY  
 ANDREW PEKLO AIA 1/14/22  
 ORIGINAL SURVEY PROVIDED BY TOWN OF WASHINGTON  
 PROPERTY OF DOROTHY AVERILL  
 NOV. 1970 BY DUFFY RLS (SR)S



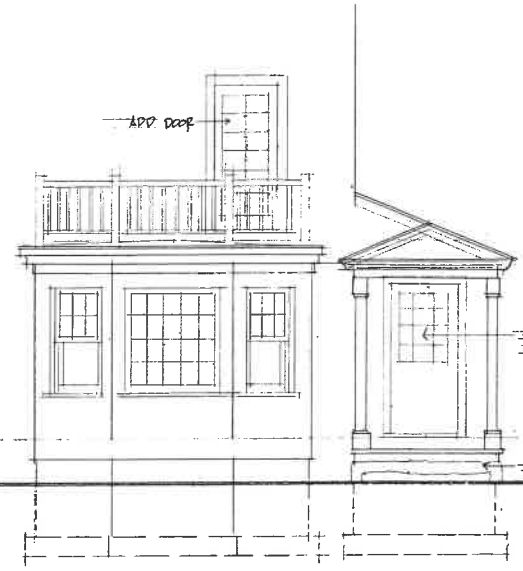
MASTER BATH PLAN 1/4"=1'-0"



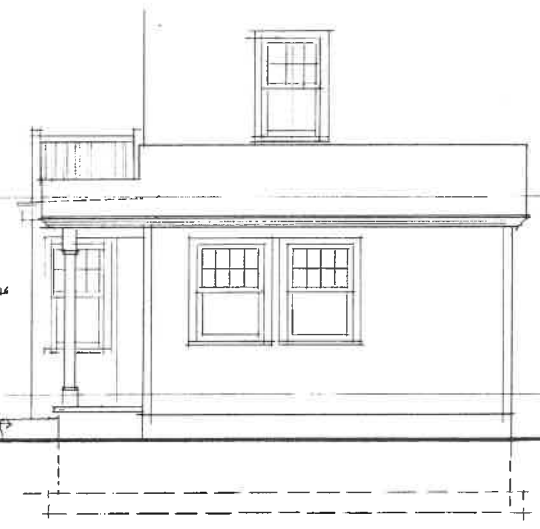
SECOND FLOOR BATH PLAN 1/4"=1'-0"



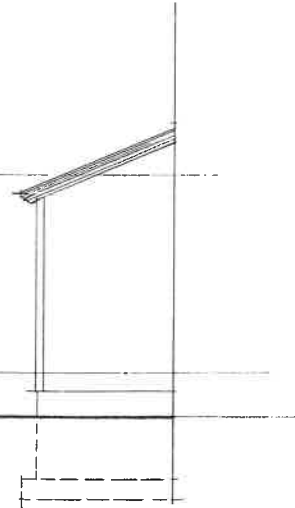
KITCHEN/MUDROOM PLAN 1/4"=1'-0"



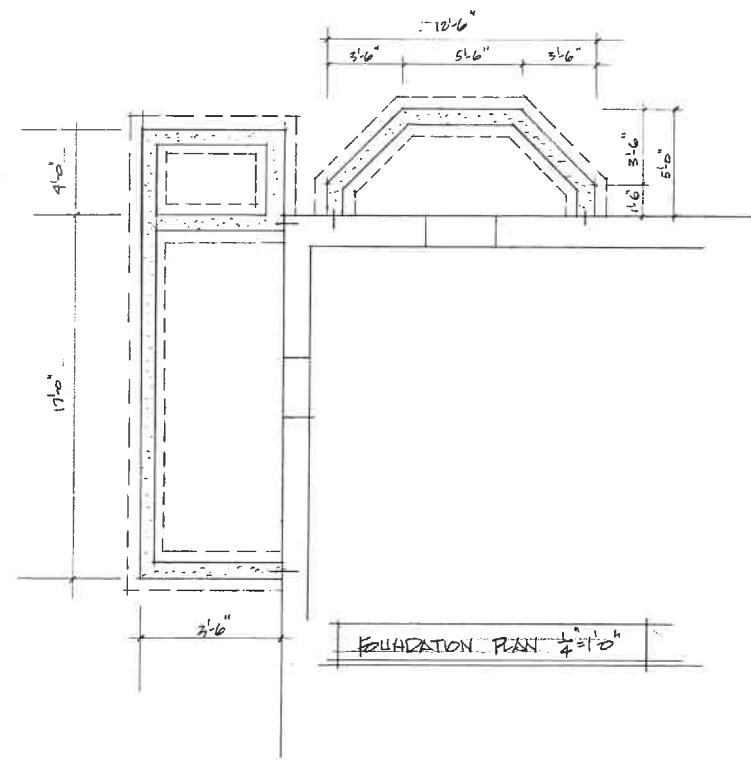
NORTH ELEVATION 1/4"=1'-0"



WEST ELEVATION 1/4"=1'-0"



SOUTH ELEVATION 1/4"=1'-0"



FOUNDATION PLAN 1/4"=1'-0"

McMACKIN / RODDICK RESIDENCE  
 ADDITION & ALTERATIONS  
 10 PRESTON HILL ROAD  
 NEW PRESTON, CT

SCALE  
 AS NOTED

DRAWN BY  
 A PEKLO III - AIA

DATE  
 DEC 16, 2021

REVISIONS  
 JAN -15, 2022

Andrew Peklo III - Architect/Joiner  
 Member, American Institute of Architects  
 Mill at Pomperaug  
 29 Pomperaug Road, Woodbury, CT 06798  
 ph: (203) 263-4566 email: TheMill@charter.net  
 cell: (203) 233-9258 web: peklo.designandjoinery.com

**PEKLO**  
**DESIGN &**  
**JOINERY**  
 ARCHITECTURE  
 FINE FURNITURE

CLIENT  
 McMACKIN / RODDICK

CONTENTS  
 FOUNDATION PLAN  
 SITE PLAN  
 KITCHEN/MUDROOM PL  
 SECOND FLOOR PLAN  
 EXT. ELEVATIONS

