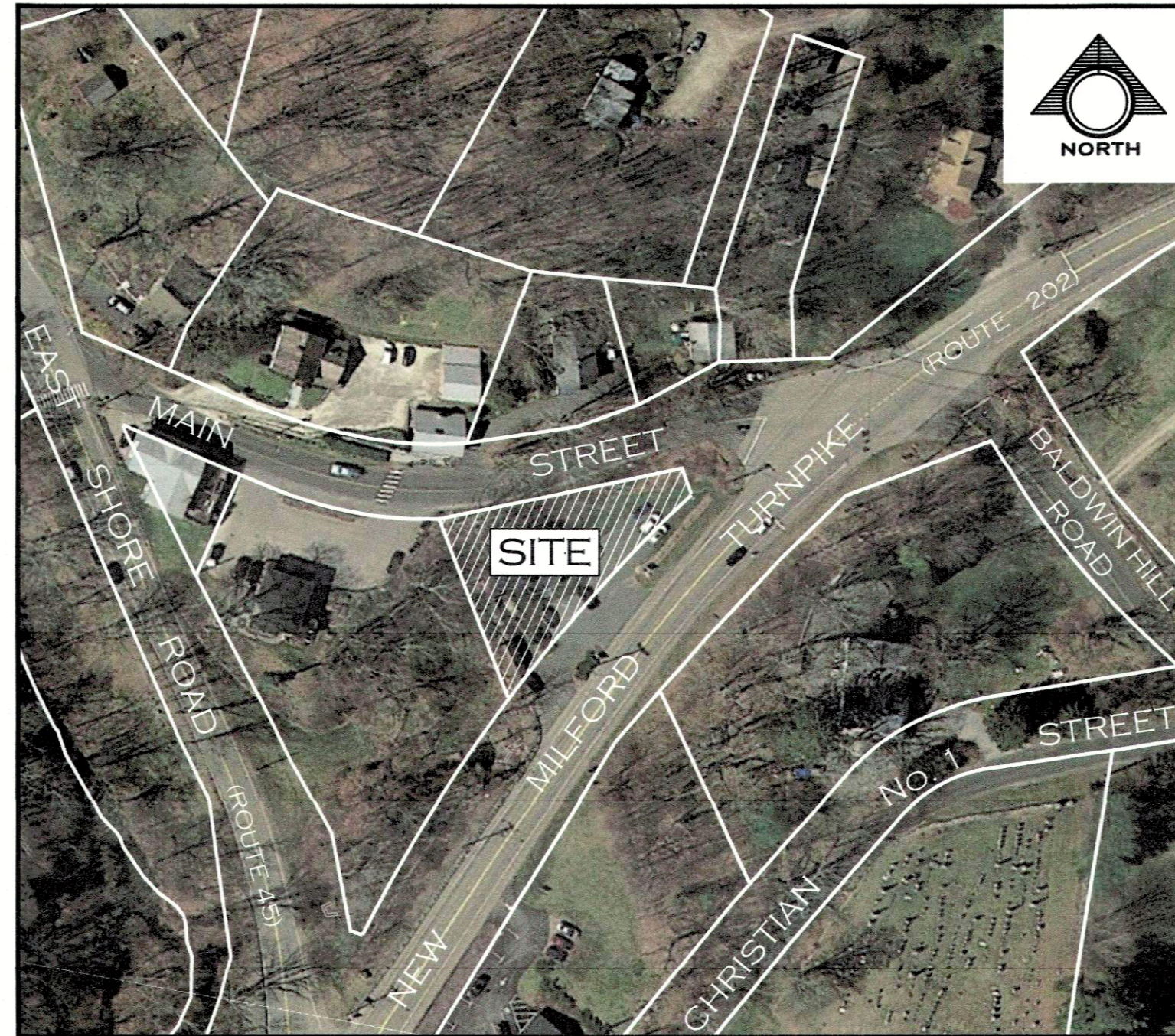


SMF UNIVERSAL, LLC

124 NEW MILFORD TURNPIKE

WASHINGTON, CONNECTICUT



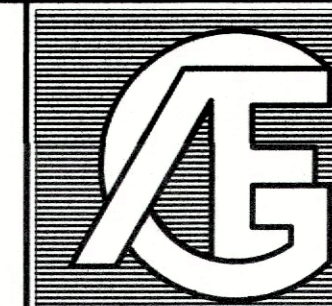
LOCATION MAP
SCALE: 1" = 100'

INDEX OF SHEETS

DESCRIPTION OF SHEETS

- 1..... COVER SHEET
- 2..... PROPERTY & TOPOGRAPHICAL MAP
(PREPARED BY NEW ENGLAND LAND SURVEYING)
- 3..... SITE PLAN
- 4..... GRADING, UTILITY, AND SEDIMENT AND EROSION CONTROL PLAN

REV.	DATE	COMMENT
2	1/13/22	REVISED RAMP AND PERVIOUS PAVEMENT AREA
1	1/11/22	ADDED PERVIOUS PAVEMENT



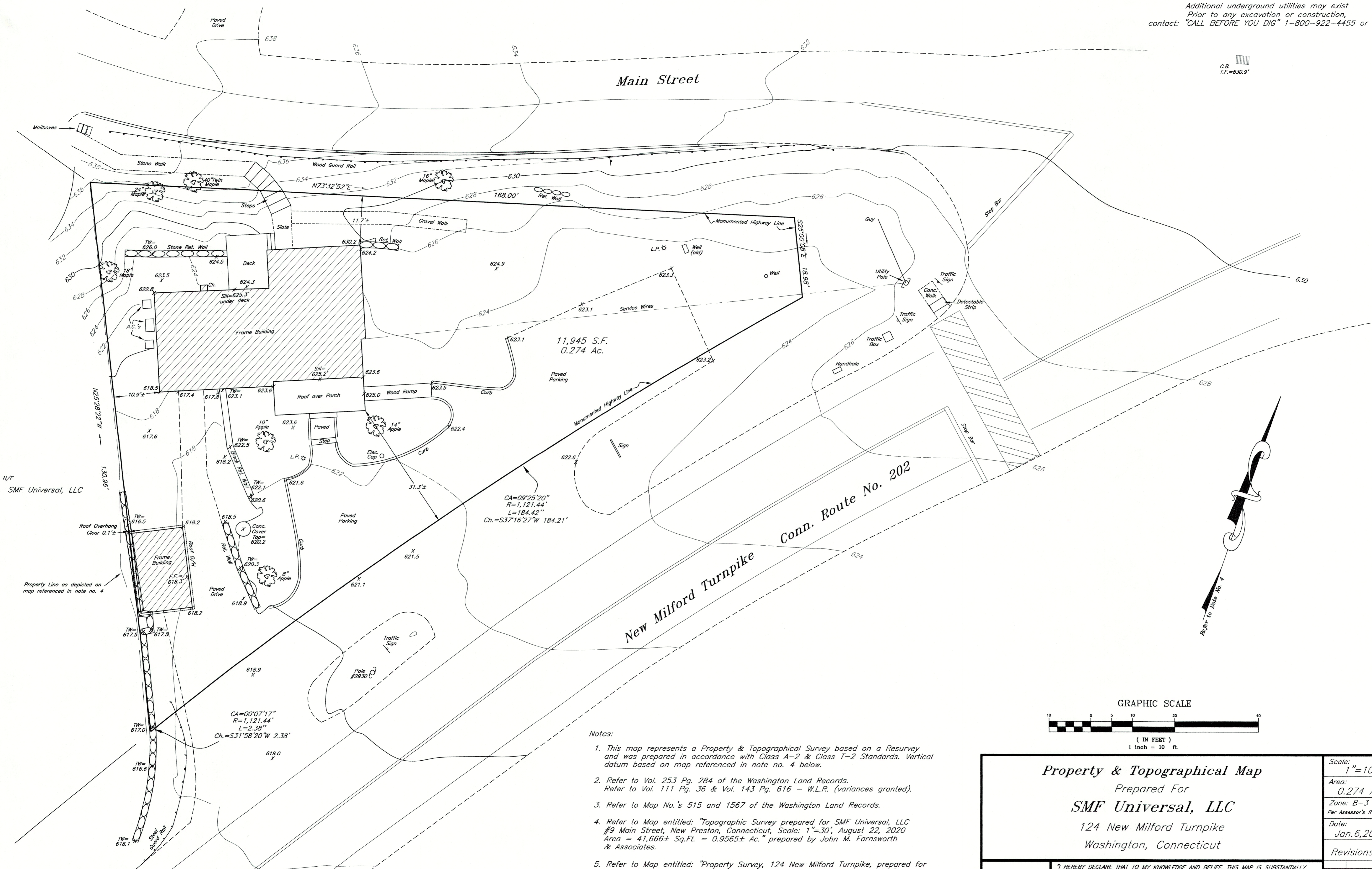
ARTEL ENGINEERING GROUP, LLC
 304 FEDERAL ROAD - SUITE 308
 BROOKFIELD, CONNECTICUT 06804
 WWW.ARTELENGINEERING.COM
 PHONE: (203) 740-2033 FAX: (203) 740-2067

• CIVIL ENGINEERS PROJECT MANAGERS •
 • ENVIRONMENTAL ENGINEERS SITE PLANNERS •
 • MUNICIPAL ENGINEERS PERMIT EXPEDITORS •

COVER SHEET SMF UNIVERSAL, LLC 124 NEW MILFORD TURNPIKE WASHINGTON, CONNECTICUT	DRAWN BY: BH
	CHECKED BY: DV
	DATE: 1/13/22
	SCALE: 1" = 10'
	DRAWING No: DD21050
PROJECT No: DD21050	
SHEET: 1	

Important Note:
 Additional underground utilities may exist
 Prior to any excavation or construction,
 contact: "CALL BEFORE YOU DIG" 1-800-922-4455 or 811

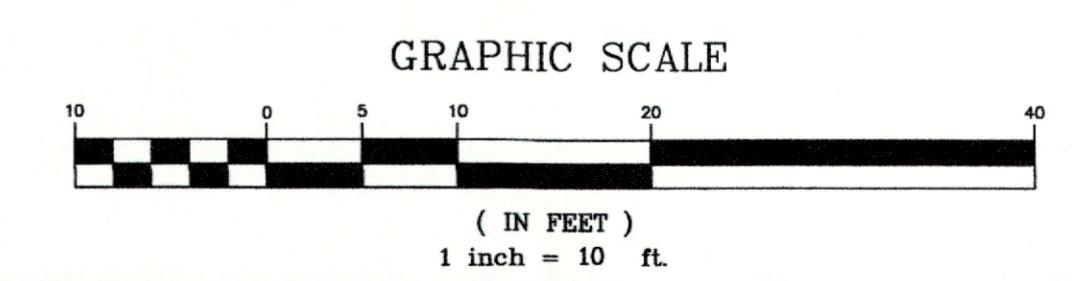
C.B.
 T.F.=630.9'



N/F
 SMF Universal, LLC

Notes:

1. This map represents a Property & Topographical Survey based on a Resurvey and was prepared in accordance with Class A-2 & Class T-2 Standards. Vertical datum based on map referenced in note no. 4 below.
2. Refer to Vol. 253 Pg. 284 of the Washington Land Records. Refer to Vol. 111 Pg. 36 & Vol. 143 Pg. 616 - W.L.R. (variances granted).
3. Refer to Map No.'s 515 and 1567 of the Washington Land Records.
4. Refer to Map entitled: "Topographic Survey prepared for SMF Universal, LLC #9 Main Street, New Preston, Connecticut, Scale: 1"=30', August 22, 2020 Area = 41,666± Sq.Ft. = 0.9565± Ac." prepared by John M. Farnsworth & Associates.
5. Refer to Map entitled: "Property Survey, 124 New Milford Turnpike, prepared for Robert Slodowitz, Washington, Connecticut, Scale 1"=20', Oct. 16, 1998" prepared by Richard W. Dibble, LLS #8158.
6. Refer to Connecticut State Highway Department Right of Way Map, Town of Washington, New Milford - Litchfield Road from the New Milford Town Line Easterly to Flirtation Ave., Route No. 25, Scale: 1"=40', Dated Dec. 28, 1934 Revised Jan. 21, 1966, Number 150-04, Sheet No. 5 of 6.



Property & Topographical Map
 Prepared For
SMF Universal, LLC
 124 New Milford Turnpike
 Washington, Connecticut

Scale:
 1"=10'
 Area:
 0.274 Ac.
 Zone: B-3
 Per Assessor's Records
 Date:
 Jan. 6, 2022

I HEREBY DECLARE THAT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
NEW ENGLAND LAND SURVEYING, P.C.
 ROBIN COMMONS-118 COAL PIT HILL RD.-DANBURY, CT.
 203-790-5597 nelandsurv@aol.com
 MATTHEW E. REYNOLDS, L.S. # 13286

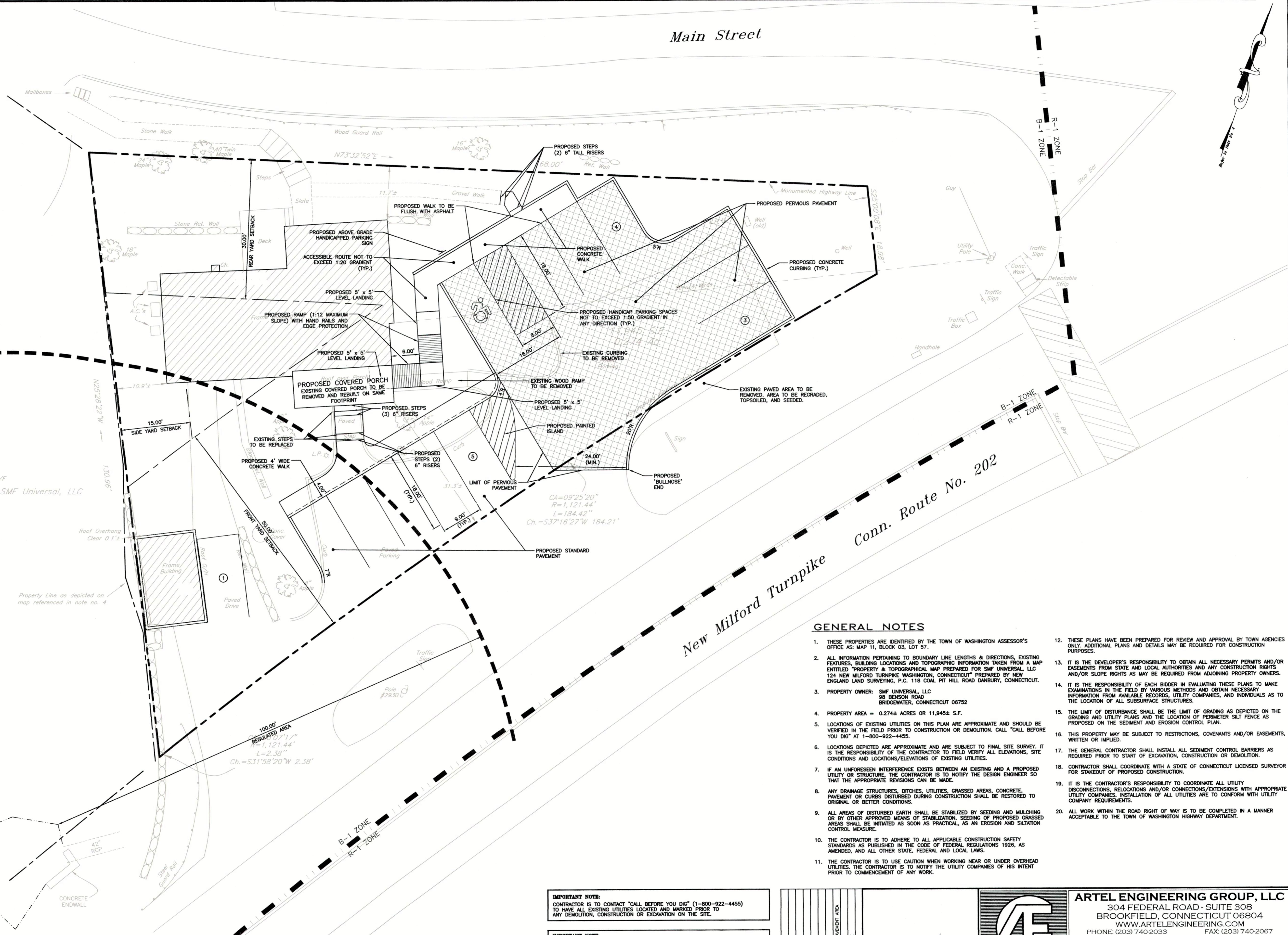
Revisions
 Job No. 1420
 1420sv1

NOT VALID WITHOUT A
 LINE SIGNATURE AND
 EMBOSSED SEAL

ZONING ANALYSIS TABLE			
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONE DISTRICT	B1 ZONE		
EXISTING USE	RETAIL, OFFICE		
PROPOSED USE	RETAIL, OFFICE, RESIDENTIAL		
LOT: MINIMUM LOT AREA	65,340 S.F.	11,945 S.F.	NO CHANGE
MINIMUM LOT FRONTAGE	60'	373.78'±	NO CHANGE
BUILDING: MINIMUM SETBACKS			
FRONT YARD	50'	11.7'±	NO CHANGE
SIDE YARD	15'	10.9'±	NO CHANGE
REAR YARD	30'	11.7'±	NO CHANGE
MAXIMUM HEIGHT	35'	<35'	NO CHANGE
MAXIMUM LOT COVERAGE	25%	46.81%	61.05%
PARKING:			
	REQUIRED	EXISTING	PROPOSED
RETAIL: MAXIMUM: 3 SPACES/1,000 S.F. OF GROSS FLOOR AREA (G.F.A.) MINIMUM: 1 SPACES/1,000 S.F. OF G.F.A. 1,224 S.F. OF RETAIL	MAXIMUM: 2 SPACES MINIMUM: 1 SPACE		
OFFICE: MAXIMUM: 5 SPACES/1,000 S.F. OF G.F.A. MINIMUM: 2 SPACES/1,000 S.F. OF G.F.A.	MAXIMUM: 3 SPACES MINIMUM: 2 SPACE	6 SPACES	12 STANDARD SPACES + 1 HANDICAP SPACES
RESIDENTIAL: MAXIMUM: 1 SPACE PER BEDROOM MINIMUM: 1 SPACE PER UNIT (2) 1-BEDROOM APARTMENTS	MAXIMUM: 2 SPACES MINIMUM: 2 SPACE		
TOTAL:	MAXIMUM: 6 SPACES MINIMUM: 4 SPACES	6 SPACES	13 SPACES

SPECIAL PERMIT REQUESTS

- 7.4.9. HOUSING IN BUSINESS DISTRICT
- 7.6. MINIMUM SETBACK AND YARD DIMENSIONS UP TO 50% OF PERMITTED (FRONT FROM 50' TO 25')



GENERAL NOTES

- THESE PROPERTIES ARE IDENTIFIED BY THE TOWN OF WASHINGTON ASSESSOR'S OFFICE AS: MAP 11, BLOCK 03, LOT 57.
- ALL INFORMATION PERTAINING TO BOUNDARY LINE LENGTHS & DIRECTIONS, EXISTING FEATURES, BUILDING LOCATIONS AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "PROPERTY & TOPOGRAPHICAL MAP PREPARED FOR SMF UNIVERSAL, LLC 124 NEW MILFORD TURNPIKE WASHINGTON, CONNECTICUT PREPARED BY NEW ENGLAND LAND SURVEYING, P.C. 118 COAL PIT HILL ROAD DANBURY, CONNECTICUT.
- PROPERTY OWNER: SMF UNIVERSAL, LLC
88 BENSON ROAD
BRIDGEWATER, CONNECTICUT 06752
- PROPERTY AREA = 0.274± ACRES OR 11,945± S.F.
- LOCATIONS OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION OR DEMOLITION. CALL "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- LOCATIONS DEPICTED ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS, SITE CONDITIONS AND LOCATIONS/ELEVATIONS OF EXISTING UTILITIES.
- IF AN UNFORESEEN INTERFERENCE EXISTS BETWEEN AN EXISTING AND A PROPOSED UTILITY OR STRUCTURE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER SO THAT THE APPROPRIATE REVISIONS CAN BE MADE.
- ANY DRAINAGE STRUCTURES, DITCHES, UTILITIES, GRASSED AREAS, CONCRETE, PAVEMENT OR CURBS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
- ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY SEEDING AND MULCHING OR BY OTHER APPROVED MEANS OF STABILIZATION. SEEDING OF PROPOSED GRASSED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL, AS AN EROSION AND SILTATION CONTROL MEASURE.
- THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE CONSTRUCTION SAFETY STANDARDS AS PUBLISHED IN THE CODE OF FEDERAL REGULATIONS 1926, AS AMENDED, AND ALL OTHER STATE, FEDERAL AND LOCAL LAWS.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING NEAR OR UNDER OVERHEAD UTILITIES. THE CONTRACTOR IS TO NOTIFY THE UTILITY COMPANIES OF HIS INTENT PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS HAVE BEEN PREPARED FOR REVIEW AND APPROVAL BY TOWN AGENCIES ONLY. ADDITIONAL PLANS AND DETAILS MAY BE REQUIRED FOR CONSTRUCTION PURPOSES.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM STATE AND LOCAL AUTHORITIES AND ANY CONSTRUCTION RIGHTS AND/OR SLOPE RIGHTS AS MAY BE REQUIRED FROM ADJOINING PROPERTY OWNERS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY COMPANIES, AND INDIVIDUALS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE LIMIT OF DISTURBANCE SHALL BE THE LIMIT OF GRADING AS DEPICTED ON THE GRADING AND UTILITY PLANS AND THE LOCATION OF PERIMETER SILT FENCE AS PROPOSED ON THE SEDIMENT AND EROSION CONTROL PLAN.
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- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY DISCONNECTIONS, RELOCATIONS AND/OR CONNECTIONS/EXTENSIONS WITH APPROPRIATE UTILITY COMPANIES. INSTALLATION OF ALL UTILITIES ARE TO CONFORM WITH UTILITY COMPANY REQUIREMENTS.
- ALL WORK WITHIN THE ROAD RIGHT OF WAY IS TO BE COMPLETED IN A MANNER ACCEPTABLE TO THE TOWN OF WASHINGTON HIGHWAY DEPARTMENT.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:
IT IS UNDERSTOOD THAT "ARTEL ENGINEERING GROUP, LLC" HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

NO.	DATE	DESCRIPTION
1	1/13/22	REVISED RAMP AND PERVIOUS PAVEMENT AREA
2	1/13/22	ADDED PERVIOUS PAVEMENT
3	1/13/22	REVISED ZONING ANALYSIS TABLE
4	1/13/22	REVISED COMMENTS

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304 FEDERAL ROAD - SUITE 308
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CIVIL ENGINEERS
ENVIRONMENTAL ENGINEERS
MUNICIPAL ENGINEERS

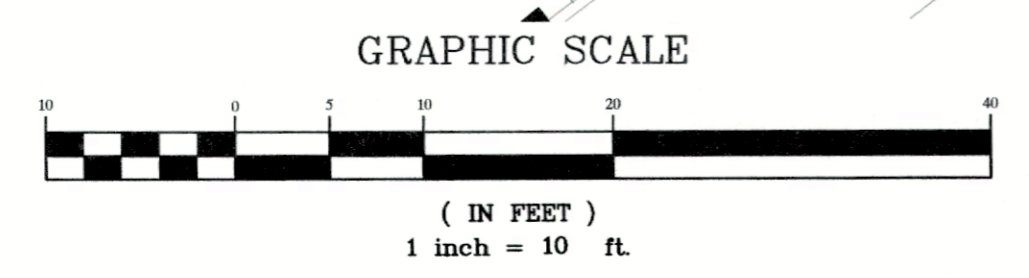
PROJECT MANAGERS
SITE PLANNERS
PERMIT EXPEDITORS

SITE PLAN
SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: 1" = 10'
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 3

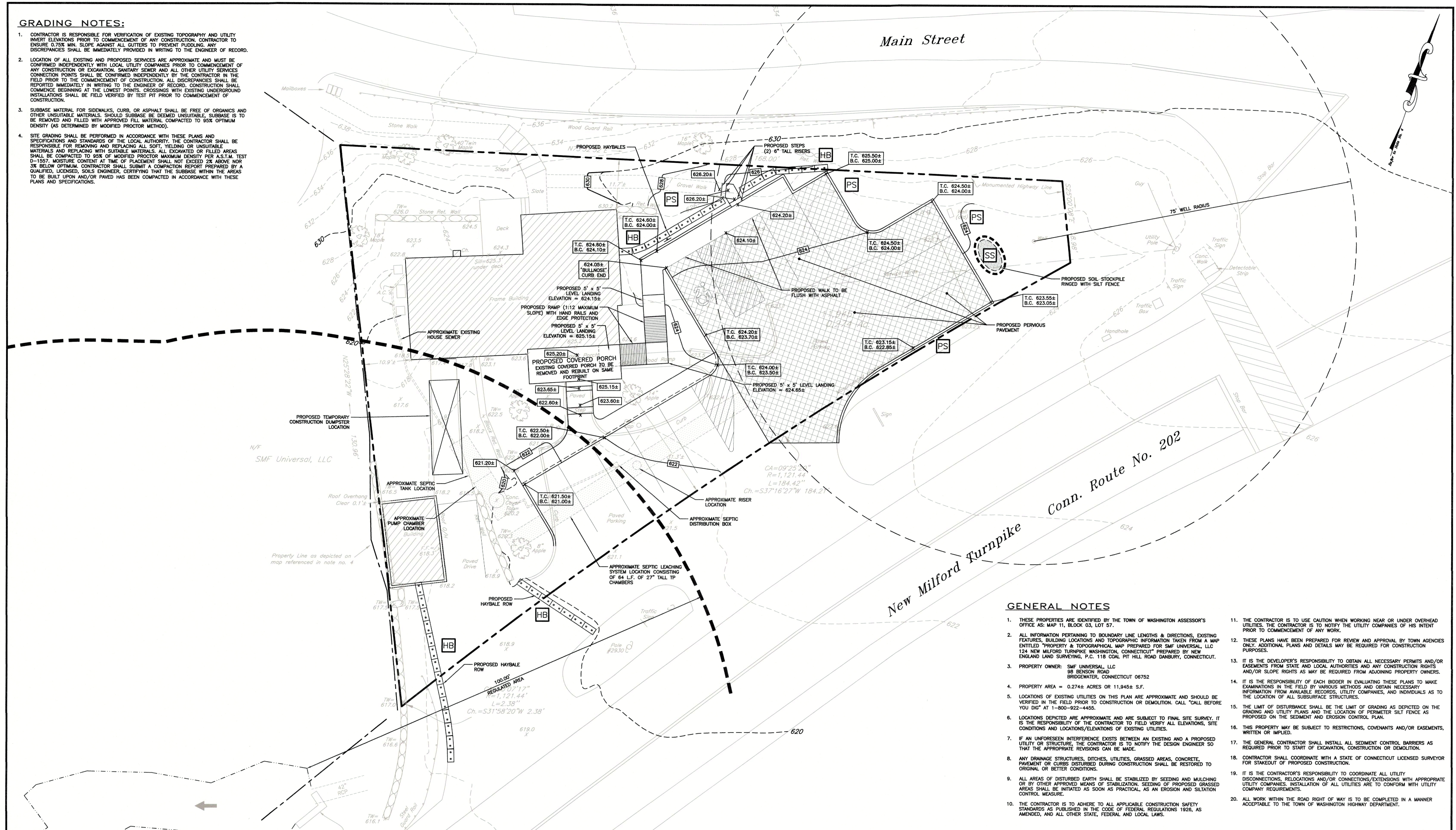
LEGEND

---	PROPERTY LINE
- - -	SETBACK LINE
○	EXISTING CATCH BASIN
○	EXISTING MANHOLE
○	EXISTING LIGHT POLE
○	EXISTING UTILITY POLE
---	APPROXIMATE ZONE LINE



GRADING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL OUTLETS TO PREVENT PLOUING. ANY DISCREPANCIES SHALL BE IMMEDIATELY PROVIDED IN WRITING TO THE ENGINEER OF RECORD.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER OF RECORD. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED, LICENSED, SOILS ENGINEER, CERTIFYING THAT THE SUBBASE WITHIN THE AREAS TO BE BUILT UPON AND/OR PAVED HAS BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.



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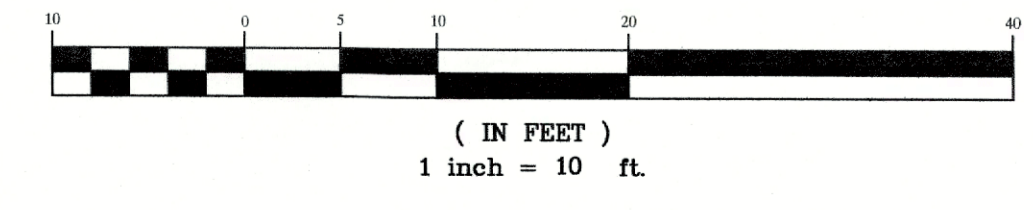
LEGEND

- PROPERTY LINE
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION

EROSION CONTROL LEGEND

- HB PROPOSED HAYBALES
- PS PROPOSED AREA OF PERMANENT SEEDING
- SS PROPOSED SOIL STOCKPILE

GRAPHIC SCALE

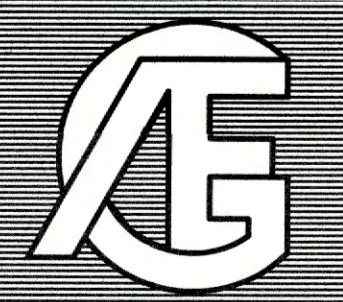


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REV.	DATE	COMMENT
1	5/11/22	REVISED PER COMMISSION MEETING
2	5/11/22	REVISED RAMP AND PERVIOUS PAVEMENT AREA
3	5/11/22	REVISED RAMP AND PERVIOUS PAVEMENT AREA
4	5/11/22	ADDED PERVIOUS PAVEMENT



ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
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• MUNICIPAL ENGINEERS PERMIT EXPEDITORS •

GRADING, UTILITY, AND SEDIMENT AND EROSION CONTROL PLAN

SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: 1" = 10'
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 4