



Town of Washington
Zoning Board of Appeals
 P. O. Box 383
 Washington Depot, CT 06794
 Land Use Office: 860-868-0423

ZBA USE ONLY:

Appl. # ZBA- 1133
 Date Rec'd _____
 Fees Paid yes
 Cash/Chk # _____
 Chk writer _____

APPLICATION FOR VARIANCE(S)

APPLICANT INFORMATION

(If there are two or more applicants, provide the following information for each)

Name: DONALD O'LEARY
 Home Address: N/A
 Business Address: 11A SCHOOL ST, WASHINGTON, CT
 Home Phone: N/A Business Phone: 860-868-6174
 Email Address: OLEARY.D@REGION-12.ORG

PROPERTY INFORMATION

Street Address: 159 SOUTH ST, WASHINGTON, CT
 Assessor's Lot No.: 23 Zoning District(s): R-1 Acreage of Property: 67.9
 Owner(s) of Record: REGIONAL SCHOOL DISTRICT NO 12
 Home Address: N/A
 Business Address: 11A SCHOOL ST, WASHINGTON, CT
 Home Phone: N/A Business Phone: 860-868-6174
 Record Owner(s) Deed is filed in the Land Records at: Vol. 74 Page 538
 Is the property located within 500 feet of any town line? Yes No

Donald O'Leary (AGENT)
 Signature of Owner (if Owner is not the Applicant)

NOTE: Property History information must be provided on next page of application.

VARIANCE(S) REQUESTED

The following variances are requested from the Town of Washington Zoning Regulations:
 (Attach additional sheets if necessary.)

Variance from Section 11.5 Type/amount* of variance: CHANGE IN LOCATION ON PROPERTY
 Variance from Section 11.5 Type/amount* of variance: CHANGE IN SIZE OF STRUCTURE
 Variance from Section _____ Type/amount* of variance: _____
 Variance from Section _____ Type/amount* of variance: _____

*As an example of the type and amount of a requested variance, an applicant might seek a variance of five feet from a setback regulation (e.g., from 25 feet to 20 feet) or five percent from a lot coverage limitation (e.g., from 15% to 20%).

PROPERTY HISTORY

Was the lot created as part of an approved subdivision plan? Yes _____ No

If yes: State the date of approval of the plan: _____

Map number of the plan as filed in the Land Records: _____

Have the lot lines been revised since plan approval? Yes _____ No

Provide copies of recorded deeds or maps showing all such revisions.

If no: At what volume and page of the Land Records is the property first described as a separate parcel of land in a deed or other record?* Vol. 74 Page 538

*NOTE: If the property is first described as a separate parcel in one or more documents recorded before August 1956, provide the volume and page of the last such document that was recorded before August 1956.

Have any previous variances been granted to this property? Yes No _____

If yes, attach a copy of each such variance to this application and state the volume and page at which each such variance is recorded in the Land Records. Vol. _____ Page _____

EXPLANATION OF REQUEST FOR VARIANCES

In the spaces below, explain why each requested variance is needed. The explanation should include, at a minimum, a description of the purpose of the variance and the hardship justifying the request. Attach additional sheets, if needed. **The applicant has the burden of proving to the board that each requested variance is justified.** Refer to "Guidelines for Variance Applications" for guidance.

- SEE ATTACHED -

CHANGE IN RECORD OF STRUCTURE LOCATION

CHANGE IN RECORD OF STRUCTURE SIZE

ADDITIONAL REQUIREMENTS

The applicant must submit:

1. **One original** and eight copies of a class "A-2" **survey** indicating all existing and proposed structures, septic systems, wells and water sources, easements, rights of way and legal restrictions, as well as all measurements and distances, needed to show the extent and nature of the requested special exception.
2. **Building and Elevation (if applicable) Plans** giving complete details with scaled measurements (see "Guidelines" for explanation).
3. **Filing fees** of \$100 and \$60, in separate checks, payable to the Town of Washington.
4. **Required by hearing date:** Evidence of certificate of mailing to the owners of all property located within 200 feet of the property involved in this application, notifying them of the date, time and location of the hearing and the nature of the requested variance.
5. **Signed Letter of Representation** (if applicable)

CERTIFICATION

I hereby certify that the information I have provided in this application, including any attached sheets, is true, and I acknowledge that any false information may cause the denial or revocation of a Variance.


Signature of Applicant

A variance for a change in site location of a proposed building on RSD12 Shepaug Valley School property is being requested to correct the record of location of a previously approved (March 2018) variance request submitted for the Agr-science STEM Additions by the architect KBA which shows a future “vehicle storage garage & salt shed” to be located on the northeast corner of the property. Funds for the building were not available during the original construction. Funds are now available and after further consideration regarding the use of the structure it has been determined that a more suitable location to the west of the main school building nearest the maintenance shop would be a better fit for the school and the community. In the new location the building can take advantage of the benefits being close to the existing maintenance shops and keep the building out of site from the roadway. Being nearer to the shop will allow for more efficient work coordination and allow the use of existing wash and restrooms.

A variance for a change in the size of a proposed building on RSD12 Shepaug Valley School property is being requested to correct the record of size of a previously approved (March 2018) variance request submitted for the Agr-science STEM Additions by the architect KBA which shows a future “vehicle storage garage & salt shed” that was to be located on the northeast corner of the property. The previously approved size of the future “vehicle storage garage & salt shed” was to be 2,480 sf total.

After further consideration for the actual equipment intended to be stored in the structure along with the addition of an asphalt entrance apron it is proposed to be 4,550 sf.

The new structure will take the place of an existing Athletic Equipment Storage Garage of 564 sf.

Total of changes to the existing approved 23% lot coverage will be:

$$4,550 - 2,480 = 2,070 - 564 = 1,506 \text{ SF} / 2,957,724 \text{ SF (67.9 acres x 43,560 SF)}$$

= 23.05% New lot coverage calculation

COPY OF PREVIOUS VARIANCE
TO THE PROPERTY @
159 SOUTH ST WASHINGTON, CT

February 22, 2018

Ms. Shelley White, Zoning Board of Appeals Clerk
Washington Town Hall
PO Box 383
Washington Depot, CT 06794

**Re: Request for Zoning Variances
Region 12_New Agriscience STEM Academy Additions and Associated Renovations
Washington, CT**

Dear Ms. White:

On behalf of the Region 12 School District, Kaestle Boos Architects is pleased to submit the proposed Agriscience STEM Academy Additions and Associated Renovations to the Washington Zoning Board of Appeals for consideration of the requested variances during their next meeting scheduled for March 14, 2018.

The project involves building additions and renovations as well as site redevelopment to support a new Agriscience STEM program at the existing Shepaug Valley School. Renovations at the North end of the building will support new programming such as animal and food science while renovations at the South end of the building will support new plant science programming including a public retail area. Also, the project includes middle school and high school science room renovations at the South end of the existing building. Additions will be constructed on the north and south sides of the existing building to support the new Agriscience STEM program. The northern addition will incorporate shops for Agriscience Engineering and the southern addition will include a greenhouse and support space adjacent to agricultural fields. The site will be redeveloped to incorporate a new, separate Equine/Garage/Animal Building to be used as an agricultural classroom for hands-on education including dog grooming, managing large animals, and a riding ring/demonstration area for horses and livestock. This building will also store necessary agricultural equipment. Improvements will be made to the site infrastructure including parking, drives, walkways, drainage, the septic system, and site lighting. A new fire pump house will be constructed, and a new generator will be installed on site to service all facilities. The fire pumphouse building will provide fire protection for the new construction and renovated areas. The separated bus drop-off and parent drop-offs will be reconstructed. Additional parking will be provided adjacent to the existing main entrance. All new improvements to the building and site will be accessible. Limited improvements will be made to the athletic fields to restore fields that are displaced by new development. Other site program elements include agricultural fields for livestock turn out and a horseback riding ring to exercise the animals. Several sheds will be provided for school maintenance and agricultural school equipment storage needs. The existing stone graduation podium will be relocated adjacent to the pond to enable outdoor graduations to continue as a tradition in this picturesque setting.

Per your zoning regulations there are several variances that we are requesting for this project.

Lot Coverage:

Per Section 11.5 (Maximum Lot Coverage) of the Town regulations, the maximum allowable lot coverage for lots larger than 3 acres is 10%.

Based on the proposed design we are requesting a variance for the following:

- 13% lot coverage variance (Increase from 10% to 23%)

Based on an existing parcel of 67.9 Acres, the current lot coverage is 16.63%. The proposed Agricultural STEM Academy Additions and Related Improvements will increase the lot coverage to 23%. The additional facilities, including the additions to the north and south of the existing building as well as the new Equine/Large Animal facility require emergency access and handicapped accessibility to their locations. The new paved walkways, roadways and parking infrastructure are required to achieve safe pedestrian and vehicular circulation, handicapped accessibility, as well as meet health and safety code requirements on the school campus. Paved roadways and paths also reduce the potential for erosion and sedimentation into adjacent watercourses.

Structures within 50' Wetland Setback:

Per Section 12.1 (Wetlands and Water Courses Setbacks) no structures shall be permitted within the 50' buffer.

Based on the proposed design we are requesting a variance for the following:

- 12,700 sf. of structure within the 50' buffer (Increase from 0 sf. to 12,700 sf.)

The regulations state that no structure shall be located within 50' of a wetland. We have developed the site with a central focus on the pond with the intention of highlighting and enhancing this feature. The structure proposed within the 50' area is comprised of accessible asphalt walkways, service drive (portion is renovated existing pavement) and concrete utility pads, as well as an asphalt fire access loop road to increase the open perimeter of the building for greater fire department access. These elements are located within the 50' buffer due to amiable existing grades and direct route for accessibility. Note that the new service drive will be relocated further away from the pond than the existing drive and reduce the area of driveway in the buffer area. The service drive is required to serve the school loading area. The stone wall adjacent to the Equine/Garage/Animal Building turn out area is essential to prevent steep grades and erosion as well as maintain a level area for accessible outdoor learning space and animal turn out. The graduation platform will be relocated adjacent to the pond in an area that will accommodate the annual ceremony which typically draws 1,000 or more spectators.

Building Height:

Per Section 11.7 (Maximum Building Height) of the Town Zoning Regulations, the maximum allowable building height for a gable roof is as follows:

- *Principal Structures: Maximum mean height of 35 ft. and maximum total vertical height of 40 ft.*

Please note that KBA has requested an interpretation for the Equine/Garage/Animal Building as an accessory structure or a primary structure. The building will function as an integral classroom space for the school. It was concluded that the building will be considered a primary building.

Based on a principal structure we are requesting a variance for the following:

- Total Vertical Height variance of 9" (Increase from 40ft. to 40ft.-9in.)

The Equine/Garage/Animal Building will serve as an integral component to the Agricultural curriculum. The building is required for hands-on learning and for housing animals. The building has been located in an area that is accessible to the main school and provides support spaces directly adjacent to the building such as parking, service and animal turn out areas without significantly impacting the adjacent athletic fields. The height of this single-story building is designed to accommodate equine functions as well as space for student class activity. The monitor (unoccupied space exceeding 25 sf.) that stretches along most of the roof ridge raises the peak height of the building and is required to establish proper building ventilation for students and animals. The monitor and roof pitch of the main building maintain the agricultural character of this zoning district.

Please see the attached diagram indicating average finished grade to the mean and total vertical heights as well as architectural elevations. Please note that the additions to the existing school building will not exceed the permitted heights.

Site Signage:

Per Section 16.4.1 (Residential District Signs for Special Permit) of the Town Zoning Regulations, the maximum allowable signage area is 4sf.

Based on the proposed design we are requesting a variance for the following:

- 158 sf. of signage (Increase from 4 sf. to 162 sf.)

As a school, the signage is critical for way finding. The area of signage proposed for the property is essential to provide safe and efficient vehicular and pedestrian direction around this large site. The signage variance includes building mounted signage and site way finding signs, which will be post mounted on the ground and maintain a traditional agricultural character.

Parking:

Per Section 15.2 (Parking Requirements) of the Town Zoning Regulations, the maximum allowable parking is 1/3 seats and minimum is 1/5 seats in the auditorium (based on 583 seats min: 116 spaces and max. 194 spaces)

Based on the proposed design we are requesting a variance for the following:

- Increase in maximum parking to 97 spaces (Increase from 194 spaces to 291 spaces)

The existing parking capacity is 244 spaces and the proposed plan provides 291 parking spaces across the campus. The existing parking is deficient at the main entrance. The increased parking for new facilities around the site are essential for the school to function and provide accessibility close to the main entrances. Parking will be associated with the Equine/Large Animal building and additional needed spaces will be provided at the main entrance to the school. The increase in parking spaces includes handicapped accessible close to the main entrances.

Please note that this project has a very expedited schedule and is slated to begin construction in the summer of 2018 and be fully completed by 2020. The Board of Education is planning for Agriscience students to begin classes in 2019.

We look forward to presenting this exciting project to the Zoning Board of Appeals to respectfully request the required variances. Please contact us to confirm placement on the agenda or if you have any questions.

Very truly yours,



Brennan S. White, PLA, LEED AP
Landscape Architect
KAESTLE BOOS ASSOCIATES, INC.

BSW:bc

Enclosure: Site Plans, Architectural Elevations (1 full size set, (7) 11x17 copies)



Town of Washington
Zoning Board of Appeals
 P. O. Box 383
 Washington Depot, CT 06794
 Land Use Office: 860-868-0423

ZBA USE ONLY:

Appl. # ZBA- _____
 Date Rec'd _____
 Fees Paid _____
 Cash/Chk # _____
 Chk writer _____

APPLICATION FOR VARIANCE(S)

APPLICANT INFORMATION

(If there are two or more applicants, provide the following information for each)

Name: Brennan White
 Home Address: N/A
 Business Address: 416 Slater Road, New Britain CT
 Home Phone: N/A Business Phone: (860) 229 0361
 Email Address: bwhite@kba-architects.com

PROPERTY INFORMATION

Street Address: 159 South Street, Washington, CT 06794
 Assessor's Lot No.: 23 Zoning District(s): R-1 Acreage of Property: 67.9 Acres
 Owner(s) of Record: Regional School District No. 12
 Home Address: N/A
 Business Address: 11A School Street, Washington Depot 06794
 Home Phone: N/A Business Phone: (860) 868-6100
 Record Owner(s) Deed is filed in the Land Records at: Vol. 74 Page 538
 Is the property located within 500 feet of any town line? Yes No

 Signature of Owner (if Owner is not the Applicant)

NOTE: Property History information must be provided on next page of application.

VARIANCE(S) REQUESTED

The following variances are requested from the Town of Washington Zoning Regulations:
 (Attach additional sheets if necessary.)

- Variance from Section Section 11.5 Type/amount* of variance: Max. Lot Coverage (10% to 23%)= 13%
- Variance from Section Section 12.1 Type/amount* of variance: Structure in 50' buffer (0sf. to 12,700 sf.)= 12,700sf.
- Variance from Section Section 11.7 Type/amount* of variance: Max. Total Building Height (40ft. to 40ft-9in.)*= 9 in.
- Variance from Section Section 16.4.1 Type/amount* of variance: Max. Site Signage (4sf. to 162 sf.)= 158 sf.

*As an example of the type and amount of a requested variance, an applicant might seek a variance of five feet from a setback regulation (e.g., from 25 feet to 20 feet) or five percent from a lot coverage limitation (e.g., from 15% to 20%).

Variance from Section Section 15.2 Type/amount* of variance: Max. Parking (194 spaces to 291 spaces)= 97 space:

Note:

Refer to attached letter for additional variance information

* Refer to attached letter for further description and requirements

PROPERTY HISTORY

Was the lot created as part of an approved subdivision plan? Yes _____ No

If yes: State the date of approval of the plan: _____

Map number of the plan as filed in the Land Records: _____

Have the lot lines been revised since plan approval? Yes _____ No

Provide copies of recorded deeds or maps showing all such revisions.

If no: At what volume and page of the Land Records is the property first described as a separate parcel of land in a deed or other record?* Vol. 74 Page 538

*NOTE: If the property is first described as a separate parcel in one or more documents recorded before August 1956, provide the volume and page of the last such document that was recorded before August 1956.

Have any previous variances been granted to this property? Yes _____ No _____ To Be Verified

If yes, attach a copy of each such variance to this application and state the volume and page at which each such variance is recorded in the Land Records. Vol. _____ Page _____

EXPLANATION OF REQUEST FOR VARIANCES

In the spaces below, explain why each requested variance is needed. The explanation should include, at a minimum, a description of the purpose of the variance and the hardship justifying the request. Attach additional sheets, if needed. **The applicant has the burden of proving to the board that each requested variance is justified.** Refer to "Guidelines for Variance Applications" for guidance.

See attached letter for explanation of variance requests

ADDITIONAL REQUIREMENTS

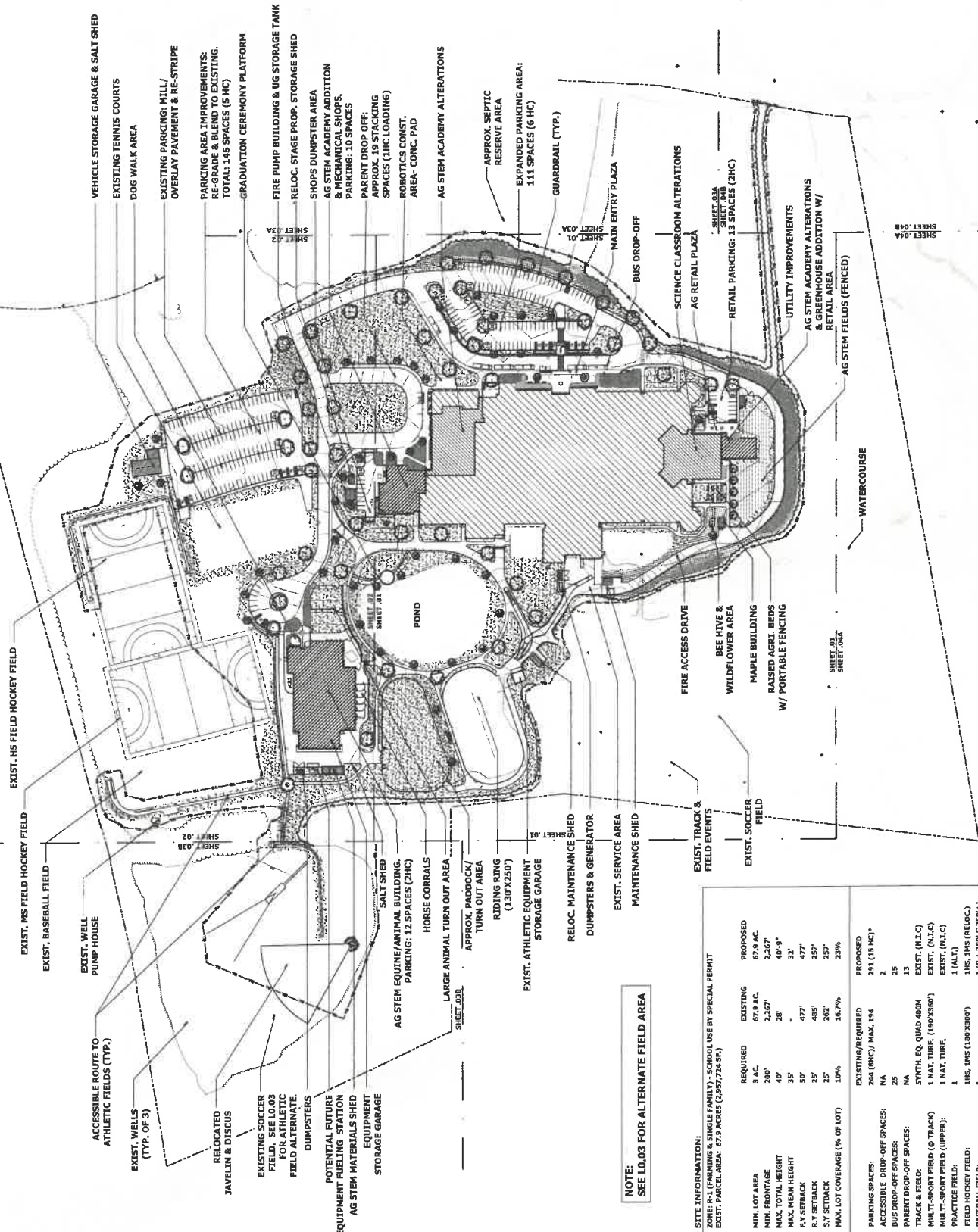
The applicant must submit:

- 1. **One original** and eight copies of a class "A-2" survey indicating all existing and proposed structures, septic systems, wells and water sources, easements, rights of way and legal restrictions, as well as all measurements and distances, needed to show the extent and nature of the requested special exception.
- 2. **Building and Elevation (if applicable) Plans** giving complete details with scaled measurements (see "Guidelines" for explanation).
- 3. **Filing fees** of \$100 and \$60, in separate checks, payable to the Town of Washington.
- 4. **Required by hearing date:** Evidence of certificate of mailing to the owners of all property located within 200 feet of the property involved in this application, notifying them of the date, time and location of the hearing and the nature of the requested variance.
- 5. **Signed Letter of Representation** (if applicable)

CERTIFICATION

I hereby certify that the information I have provided in this application, including any attached sheets, is true, and I acknowledge that any false information may cause the denial or revocation of a Variance.


Signature of Applicant



NOTE:
SEE L0.03 FOR ALTERNATE FIELD AREA

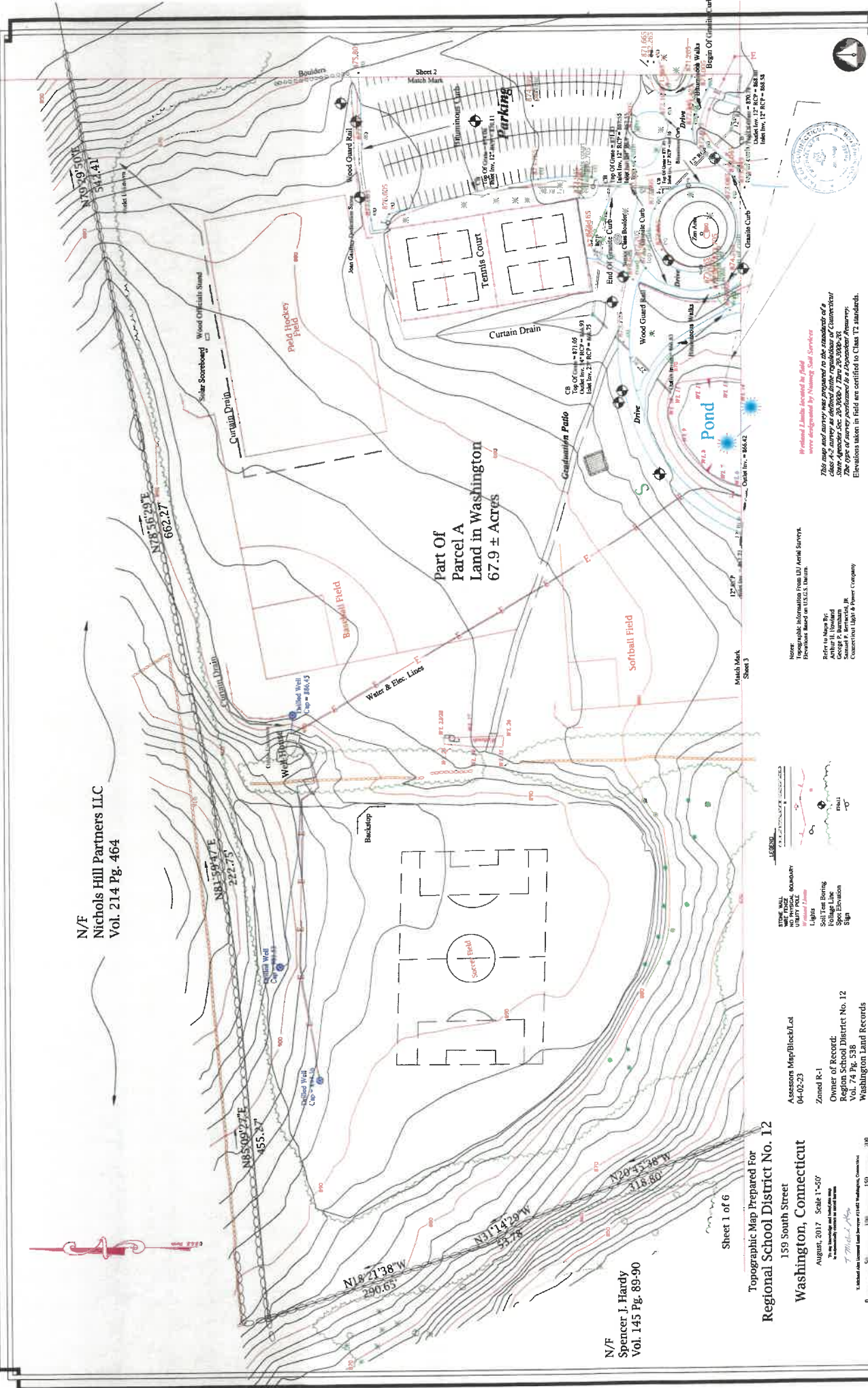
SITE INFORMATION:
ZONE: R-1 (FARMING & SINGLE FAMILY) - SCHOOL USE BY SPECIAL PERMIT
EXIST. PARCEL AREA: 67.9 ACRES (2,957,774 SF)

MIN. LOT AREA	REQUIRED	EXISTING	PROPOSED
3 AC.	67.9 AC.	67.9 AC.	67.9 AC.
MIN. FRONTAGE	280'	2,267'	2,267'
MAX. TOTAL HEIGHT	40'	28'	40'-9"
MAX. MEAN HEIGHT	35'	32'	32'
P.V. SETBACK	50'	477'	477'
S.V. SETBACK	25'	485'	257'
MAX. LOT COVERAGE (% OF LOT)	10%	28%	16.7%

PARKING SPACES:	EXISTING (REQUIRED)	PROPOSED
ACCESSIBLE DROP-OFF SPACES:	244 (MIN) / MAX. 144	291 (15 HC) *
BUS DROP-OFF SPACES:	NA	2
PARENT DROP-OFF SPACES:	NA	25
TRACK & FIELD:	NA	13
MULTI-SPORT FIELD (5 TRACK)	1 (ALT.)	1 (ALT.)
PRACTICE FIELD:	1 (ALT.)	1 (ALT.)
BASEBALL FIELDS:	1 (R-1 300' X 300')	1 (R-1 300' X 300')

*SPACES REQUIRED PER LOT PER REC.

N/F
Nichols Hill Partners LLC
Vol. 214 Pg. 464



Part Of
Parcel A
Land in Washington
67.9 ± Acres

Sheet 1 of 6

N/F
Spencer, J. Hardy
Vol. 145 Pg. 89-90

Topographic Map Prepared For
Regional School District No. 12
159 South Street
Washington, Connecticut

August, 2017 Scale 1"=50'

Assessor's Map/Block/Lot
04-02-23
Zoned R-1
Owner of Record:
Region School District No. 12
Vol. 74 Pg. 53B
Washington Land Records

LEGEND

- STONE WALL
- WOOD FENCE
- UTILITY POLE
- BOUNDARY
- Light
- Soil Test Boring
- Foliage Line
- Spot Elevation
- Sign

Note:
Topographic information from DJI Aerial Survey.
Elevations based on U.S.C.S.T. datum.
Refer to New York
Arthur H. Leonard
Surveyor General
Connecticut Light & Power Company

Revised Limits located by Heavy Soil Services
www.heavysoil.com
This map and survey were prepared to the standards of a
class A-2 survey as defined in the regulations of Connecticut
and are subject to the jurisdiction of the State Surveyor.
The survey was prepared for Assessment Purposes.
Elevations taken in field are certified to Class T2 standards.



N/E
Nichols Hill Partners LLC
Vol. 214 Pg. 464

Sheet 2 of 6

Topographic Map Prepared For
Regional School District No. 12
159 South Street
Washington, Connecticut

August, 2017 Scale 1"=30'

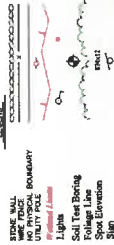
The map boundaries and labels are
a preliminary and not to be used



Note:
Elevations taken from USGS Triangulation
Elevations Based on U.S.C.S. Datum.

Refer to Maps By:
Gordon F. Brennan, JR.
Surveyor General of the State of Connecticut
Connecticut Light & Power Company

Owner of Record:
Regional School District No. 12
Vol. 74 Pg. 538
Washington Land Records

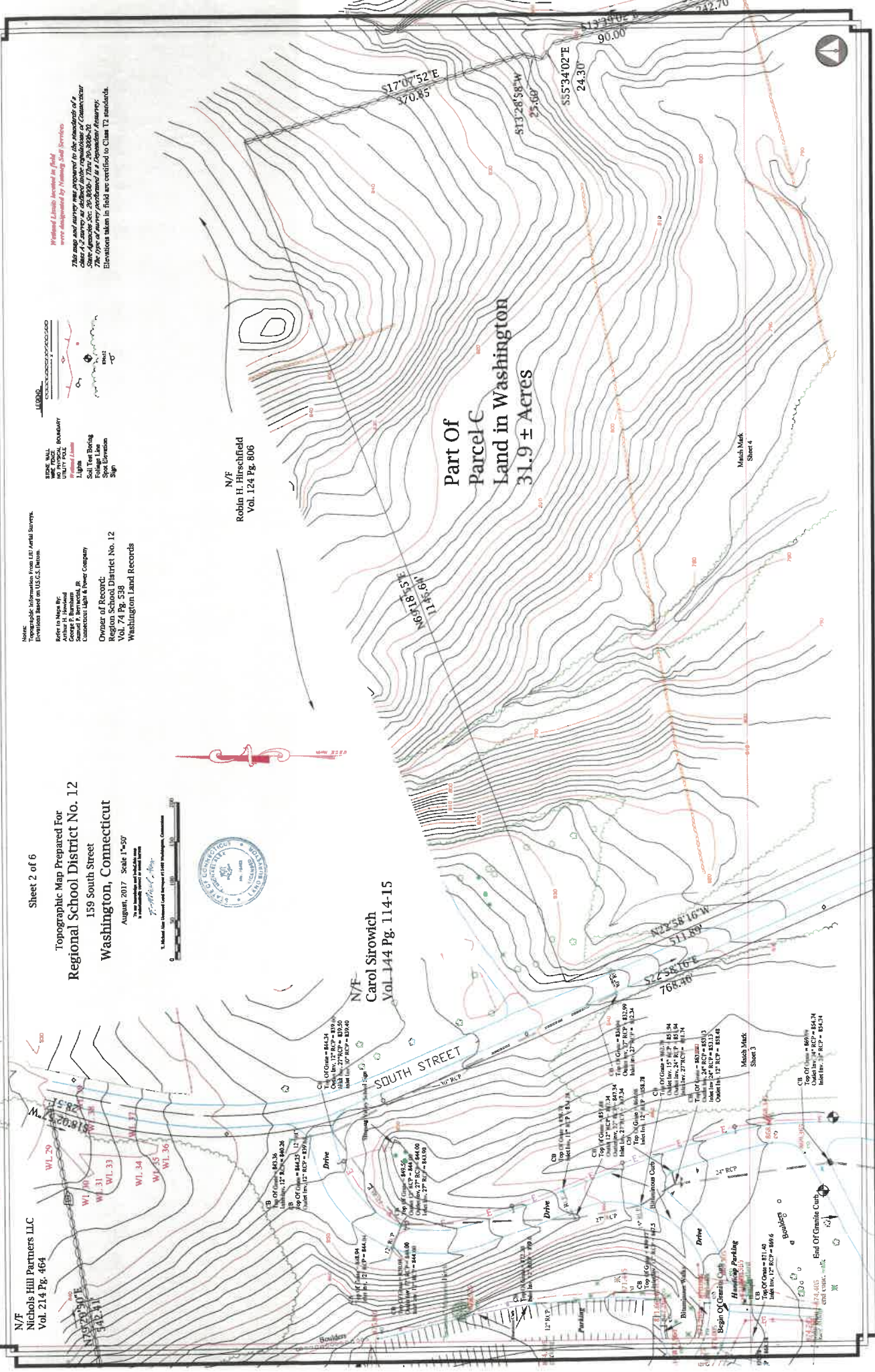


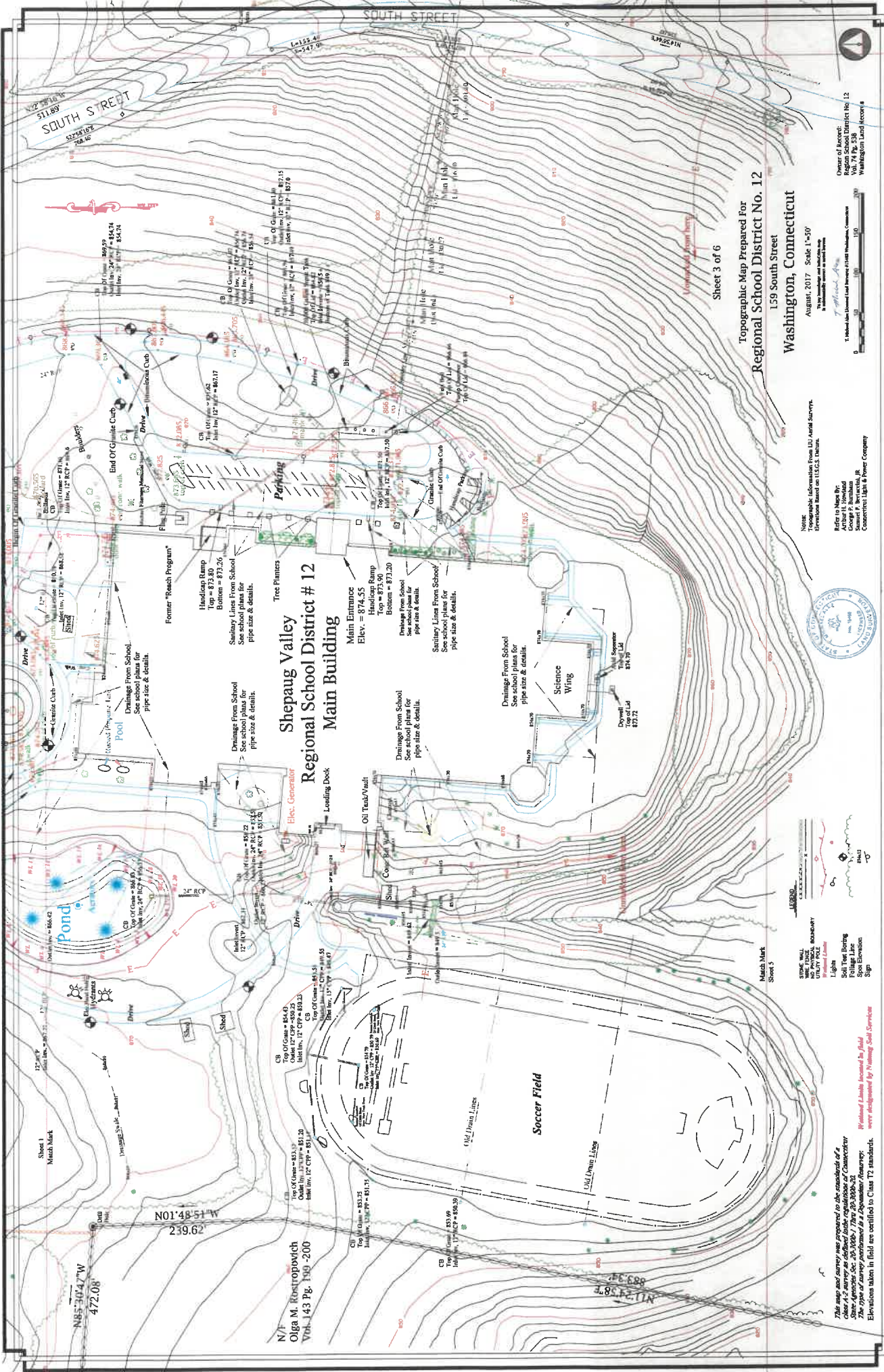
Vertical Elevation Indicated by Bold
Numbers is Assumed by Normal Staff Position
This map and survey are prepared to the standards of a
Class A License as defined under regulations of Connecticut
State Agencies Dec. 20, 2009 / Title 20-309a-30
The type of survey performed is a topographic survey.
Elevations taken in field are certified to Class 12 standards.

N/E
Robin H. Hirschfeld
Vol. 124 Pg. 806

N/E
Carol Sirowich
Vol. 144 Pg. 114-15

Part Of
Parcel-C
Land in Washington
31.9 ± Acres





Topographic Map Prepared For
Regional School District No. 12
 159 South Street
 Washington, Connecticut

Sheet 3 of 6

August, 2017 Scale 1"=50'

Owner of Record:
 Regional School District No. 12
 Washington Land Access

By: *Thomas A. ...*
 1. Measured and/or taken by
 a Licensed Professional Engineer

Note:
 Elevation information from A.D. North Survey.

Refer to Maps B1
 George P. ...
 Connecticut Light & Power Company



- LEGEND
- Spot Elevation
 - Drainage Line
 - Proposed Elevation
 - Light
 - Spot Elevation
 - Sign

This map and survey were prepared to the standards of a
 Class A-2 survey as defined in the regulations of the Connecticut
 State Board of Professional Engineers and Land Surveyors.
 The type of survey performed is a Topographic Survey.
 Elevations taken in field are verified to Class T2 standards.

Shepaug Valley
Regional School District # 12
Main Building

N/A
 Olga M. Romerovitch
 Vbk-143 Pg. 190-200

SOUTH STREET
 511.89
 525.81
 768.46

N85°30'42"W
 472.08'
 N01°48'51"W
 239.62'

Annotations on the map include:
 - **Handicap Ramp**: Top = 873.80, Bottom = 873.26. See school plans for pipe size & details.
 - **Main Entrance**: Elev. = 874.55
 - **Sanitary Lines From School**: See school plans for pipe size & details.
 - **Drainage From School**: See school plans for pipe size & details.
 - **Former "Reach Program"**
 - **Tree Planters**
 - **Science Wing**
 - **Soccer Field**
 - **Pond**
 - **Oil Tank/Wall**
 - **Generator**
 - **Drainage From School**: Multiple instances with elevations and RCP specifications.

LEGEND

STONE WALL
 LOT PROPERTY BOUNDARY
 LOT PROPERTY LINE
 Light
 Soil Test Boring
 Foliage Line
 Spot Elevation
 Sign

Notes:
 Topographic information from LDU Aerial Surveys.
 Elevation based on North datum.

Refer to Maps By:
 Arthur H. Hornland
 Samuel E. Barnhart, Jr.
 Connecticut Light & Power Company

Owner of Record:
 Region School District No. 12
 Vol. 74 Pg. 538
 Washington Land Records

Wellhead Limits located in field were designed by Truwing Soil Services

This map and survey was prepared to the standards of a class A surveyor without limit, registration of Connecticut. The type of survey performed is a Dependent Boundary. Elevations taken in field are certified to Class T2 standards.



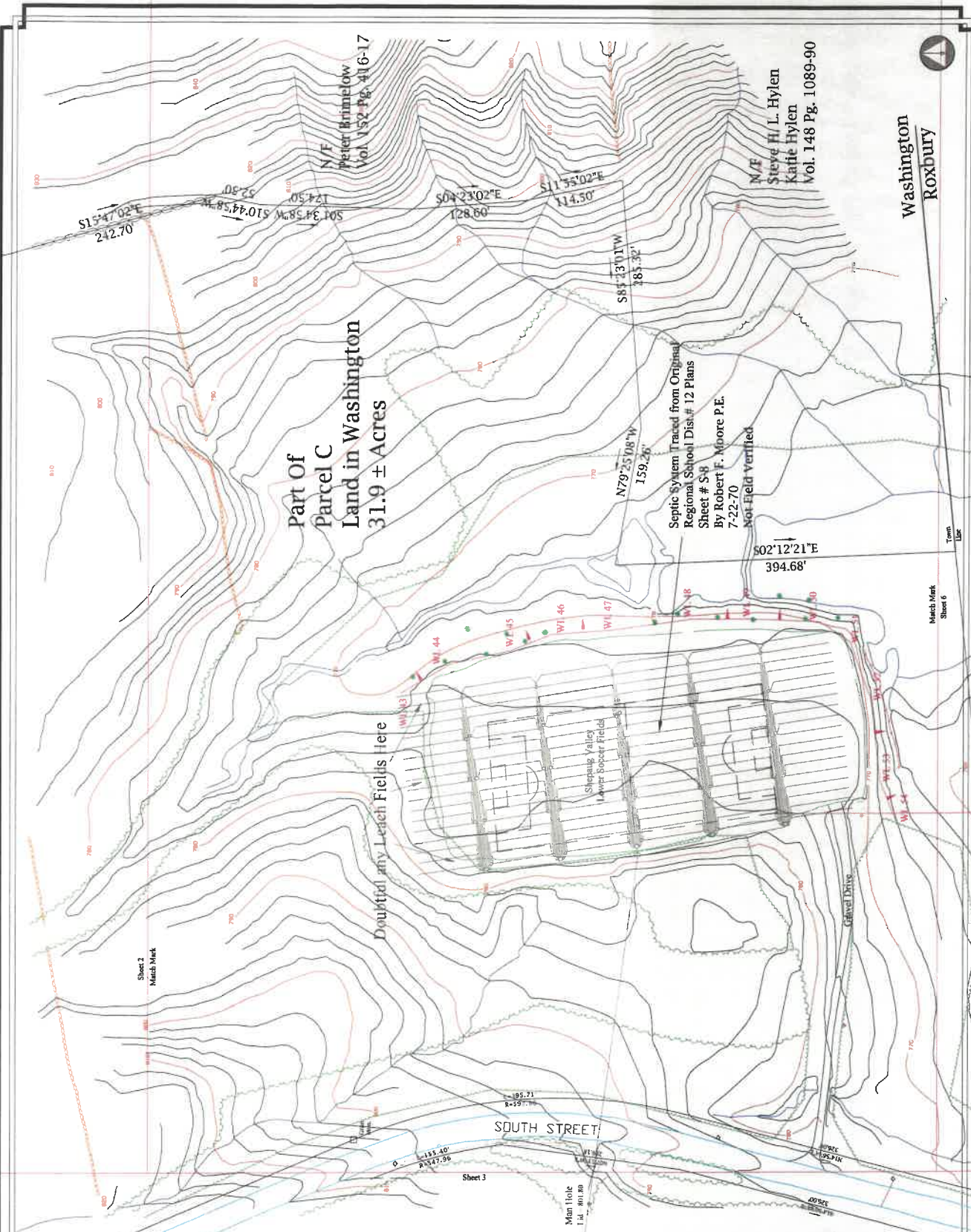
Main Sanitary Line From School

Sheet 4 of 6

Topographic Map Prepared For
 Regional School District No. 12
 159 South Street
 Washington, Connecticut
 August, 2017 Scale 1"=50'

Topographic Map

Model also located Land Survey 11462 Washington, Connecticut

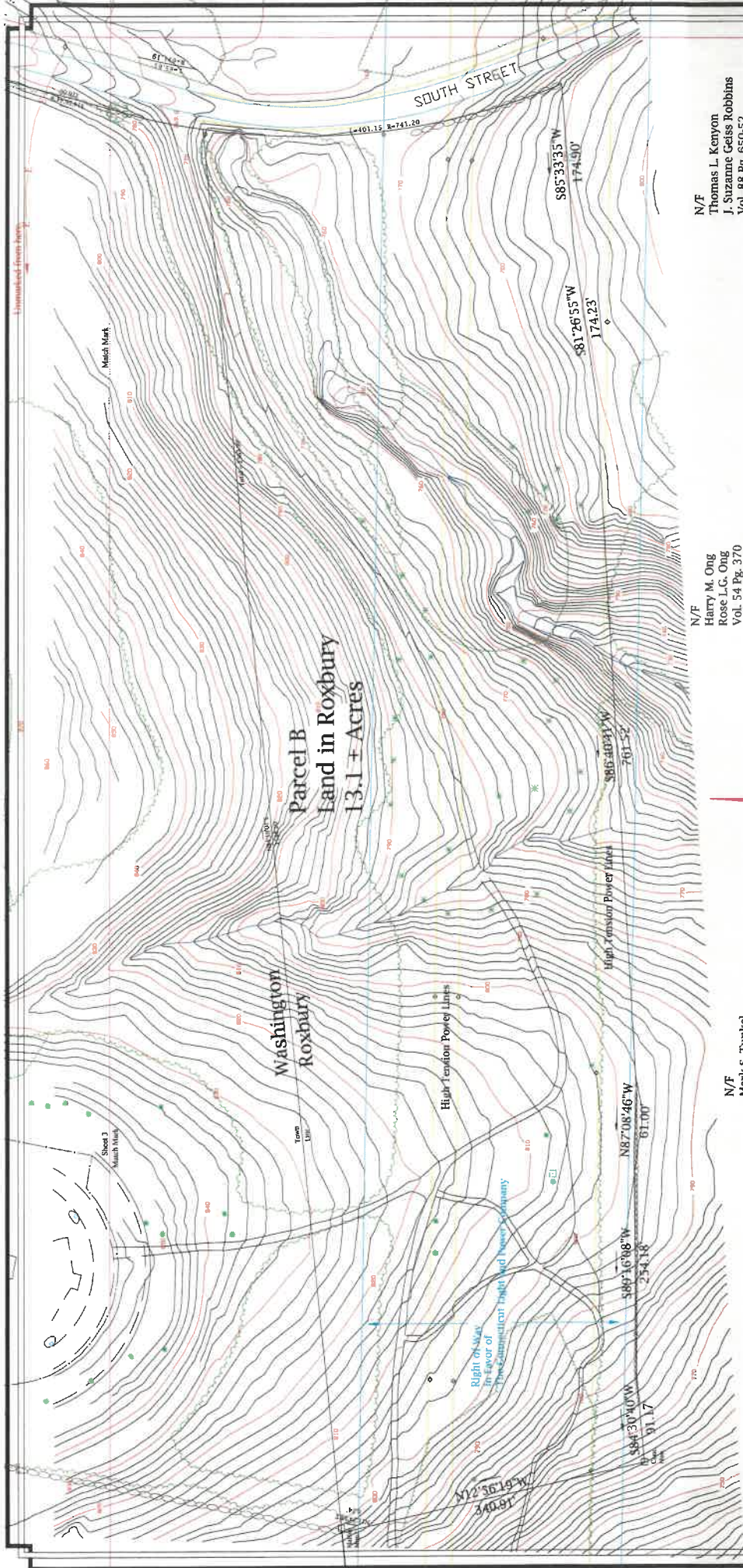


Washington
 Roxbury



Match Mark
 Sheet 5

Match Mark
 Sheet 3



N/F
 Gregory P. Meredith
 Audrey J. Meredith
 Vol. 86 Pg. 501-03

N/F
 Mark S. Tunkel
 Laurie Ann Tunkel
 Vol. 59 Pg. 611
 Vol. 70 Pg. 792

N/F
 Harry M. Ong
 Rose L.C. Ong
 Vol. 54 Pg. 370
 Vol. 67 Pg. 501-503

N/F
 Thomas L. Kenyon
 J. Suzanne Geiss Robbins
 Vol. 88 Pg. 650-52

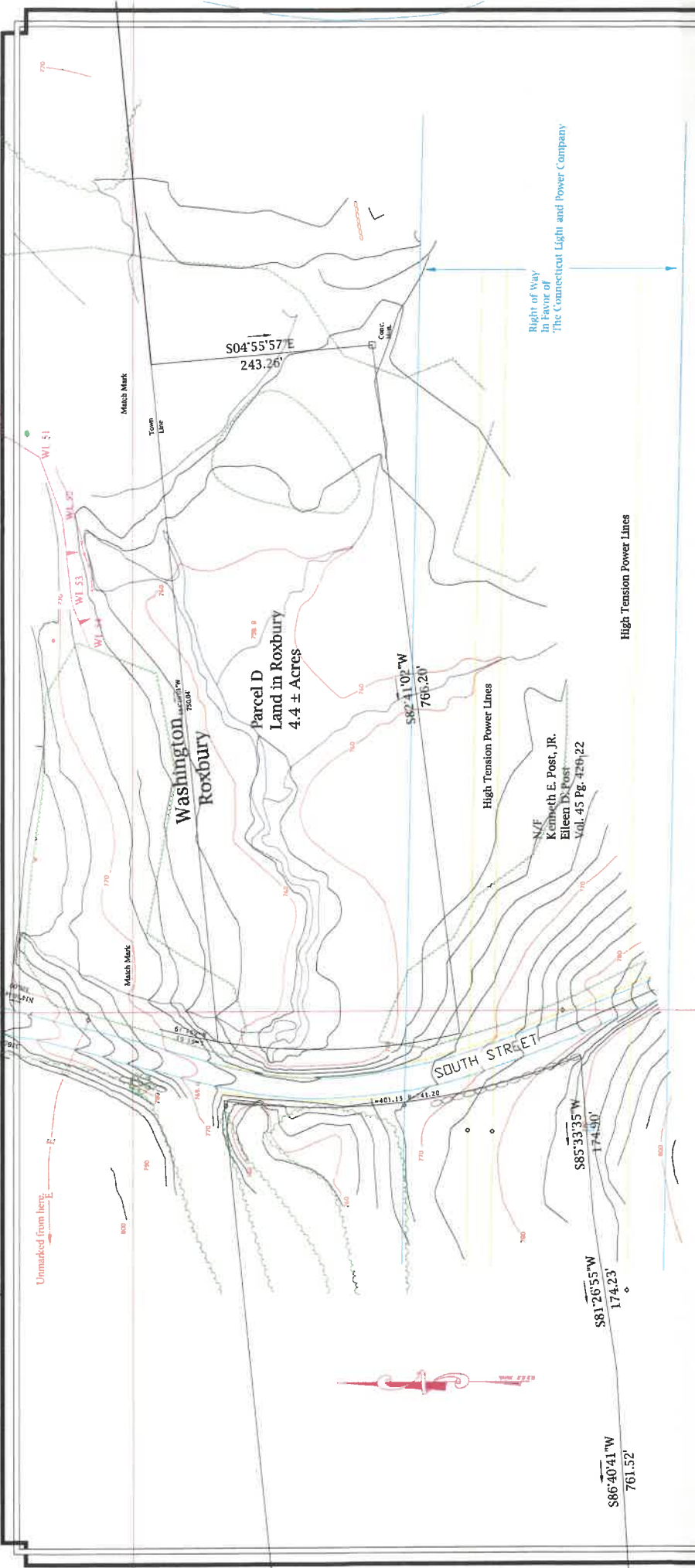
Sheet 5 of 6
 Topographic Map Prepared For
 Regional School District No. 12
 Washington, Connecticut
 August, 2017 Scale 1"=50'



Notes:
 Geographic Information System (GIS) Aerial Surveys
 Done from 2007 to 2010
 Refer to Map By:
 Arthur H. Rowland
 Samuel F. Birtchall, Jr.
 Connecticut Light & Power Company

STONE WALL
 METEOROLOGICAL
 UTILITY POLE
 Boundary
 Lights
 Spot Elevation
 Sign

Vertical Curves located as field
 were developed by Planning & Survey Services
 This map and survey were prepared to the standards of a
 State Licensed Professional Surveyor in the State of Connecticut
 State License No. 20,000,004 / 2009-20-2009-20
 The type of survey performed is a Dependent Accuracy.
 Elevations taken in field are certified to Class 72 standards.



N/F
 Thomas L. Kenyon
 J. Suzanne Geiss Robbins
 Vol. 88 Pg. 650-52

Sheet 6 of 6

Topographic Map Prepared For
Regional School District No. 12
 159 South Street
Washington, Connecticut

August, 2017 Scale: 1"=50'
 Elevation based on a mean sea level datum.



Notes:
 Elevation information from LIDAR data survey.
 Elevations based on U.S.G.S. datum.

Refer to Maps By:
 George P. Barnham
 Samuel P. Barnham, Jr.
 Connecticut Light & Power Company

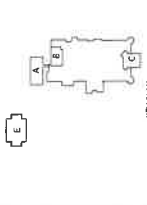
Owner of Record:
 Regional School District No. 12
 Vol. 74 Pg. 538
 Washington Land Records

LEGEND

- MATCH LINE
- BOUNDARY
- POWER LINE
- LIGHT
- SOIL TEST BORING
- SPOT ELEVATION
- SIGN

Wellhead Labels located in field were designated by Naming Soil Services. This map and survey are prepared in the accordance of a Class A-2 survey as defined under regulations of Connecticut State Agencies (see 29-209b-7, 29-209b-9, 29-209b-39). The type of survey performed is a Regional Survey. Elevations taken in field are verified to Class 72 standard.

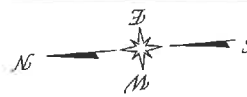




NEW
AGRISCIENCE STEM ACADEMY ADDITION & RENOVATIONS
SHEPAUG VALLEY SCHOOL
139 SOUTH STREET
SHEPAUG, VT 05484
PROJECT NO. 212-0028 A/R/C
VO-AG SPIN 212-0028 VAIN

PROJECT NO. 212-0028 A/R/C
DRAWN BY: JMB

TOPOGRAPHIC SURVEY OVERVIEW



NOTES

- 1) ALL ABBREVIATIONS AND SYMBOLS REFER TO CORRESPONDING SHEETS.
- 2) ELEVATIONS REFER TO NAAD 1985 DATUM.
- 3) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 4) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 5) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 6) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 7) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 8) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 9) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 10) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

SYMBOLS LEGEND

Iron Pin	Drilled Well	Shrub	Manhole	Deedlines	Tree
Hydrant	Water Line	Electric Line	Gas Line	Fire Line	Telephone Line
Sanitary Sewer	Storm Sewer	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)
Sanitary Sewer (Buried)	Storm Sewer (Buried)	Electric Line (Buried)	Gas Line (Buried)	Fire Line (Buried)	Telephone Line (Buried)

REFERENCE MAP
THE SHEPAUG VALLEY SCHOOL DISTRICT HAS BEEN RECORDED IN THE RECORDS OF THE STATE OF VERMONT, COUNTY OF WASHINGTON, AT NEW HAVEN, VERMONT, ON 11/20/2017. THE SHEPAUG VALLEY SCHOOL DISTRICT HAS BEEN RECORDED IN THE RECORDS OF THE STATE OF VERMONT, COUNTY OF WASHINGTON, AT NEW HAVEN, VERMONT, ON 11/20/2017. THE SHEPAUG VALLEY SCHOOL DISTRICT HAS BEEN RECORDED IN THE RECORDS OF THE STATE OF VERMONT, COUNTY OF WASHINGTON, AT NEW HAVEN, VERMONT, ON 11/20/2017.

THIS MAP IS A GENERAL SURVEY AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING OR ARCHITECTURAL DESIGN. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

THIS MAP IS A GENERAL SURVEY AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING OR ARCHITECTURAL DESIGN. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS MAP IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: 11/20/2017
DRAWN BY: JMB

DATE	REVISIONS	DESCRIPTION
11/19/2017	ISSUE DATE	TOPOGRAPHIC SURVEY

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS,
AND GENERAL NOTES SEE SHEET 01.07

SHEPAUG **AGSTEM** **SCIENCE** **TECHNOLOGY** **ENGINEERING** **CONSTRUCTION**

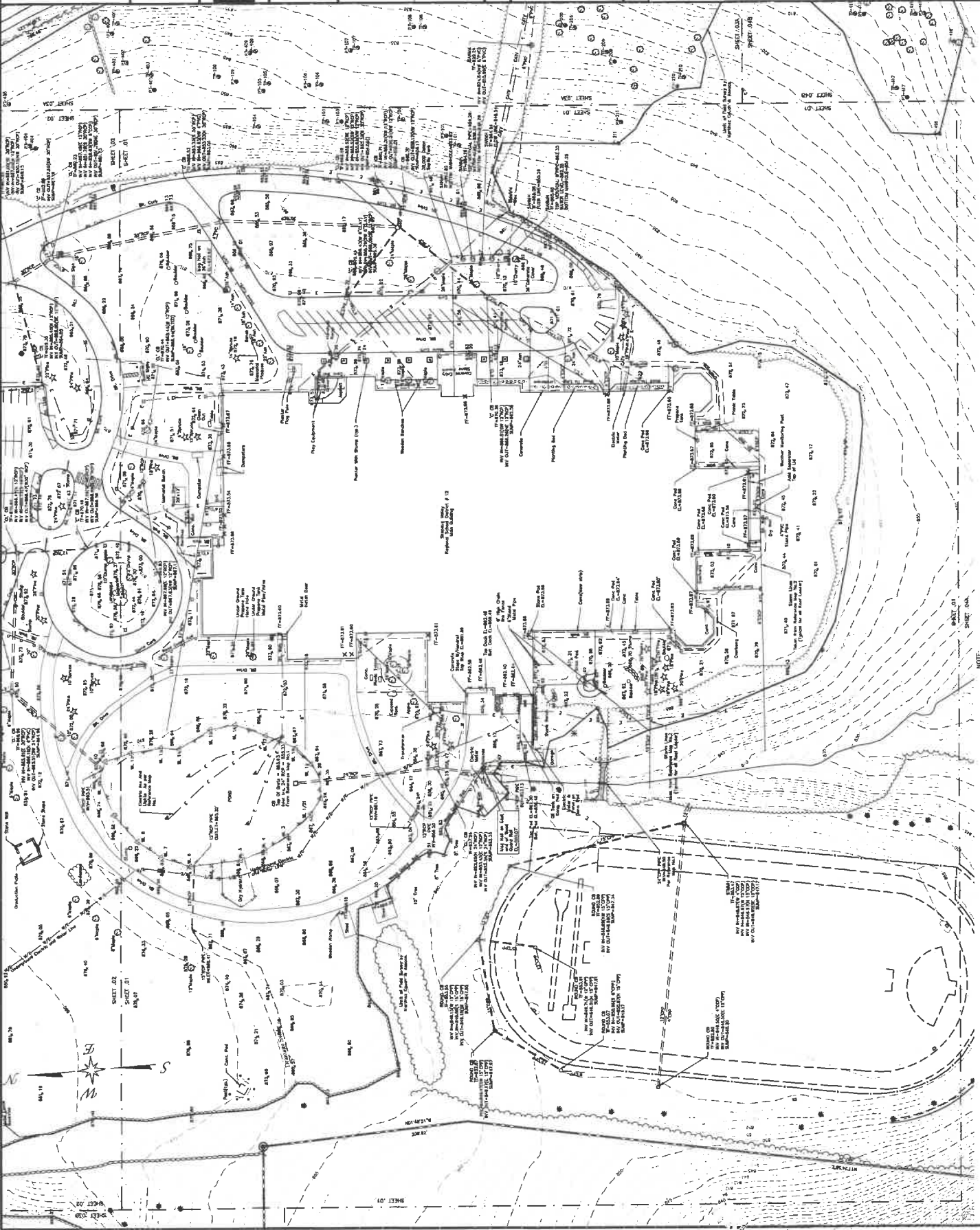
PROJECT TITLE

KEY PLAN

NEW
AGRISCIENCE
STEM ACADEMY
ADDITION &
ASSOCIATED
RENOVATIONS
SHEPAUG VALLEY SCHOOL
159 SOUTH STREET
WELLSVILLE, NC 27587
SPIN 21-0025-A-REC
VD-AG SPIN 212-0025-VAIN

DESIGNED BY: JAK

TOPOGRAPHIC
SURVEY



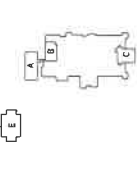
NOTE:
SEE SHEET 1 OF 7 FOR
NOTES AND LEGEND



DATE	ISSUE DATE	DESCRIPTION
11/18/07	11/18/07	TOPOGRAPHIC BACKS

DATE	REVISIONS	BY	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET 101.7

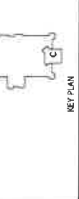


**NEW
AGRISCIENCE
STEM ACADEMY
ADDITION &
ASSOCIATED
RENOVATIONS**
SHEPAUG VALLEY SCHOOL
199 SOUTH STREET
WASH. STATE 99005 AEC 304
SPIN: 212-005 AEC 304
VO-AG SPN: 212-002E VAIN
PROJECT NO. 101109 DRAWING: JVA

**TOPOGRAPHIC
SURVEY**



NOTE: SEE 101.7 FOR NOTES AND LEGEND.



NEW
AGRISCIENCE
STEM ACADEMY
ADDITION &
ASSOCIATED

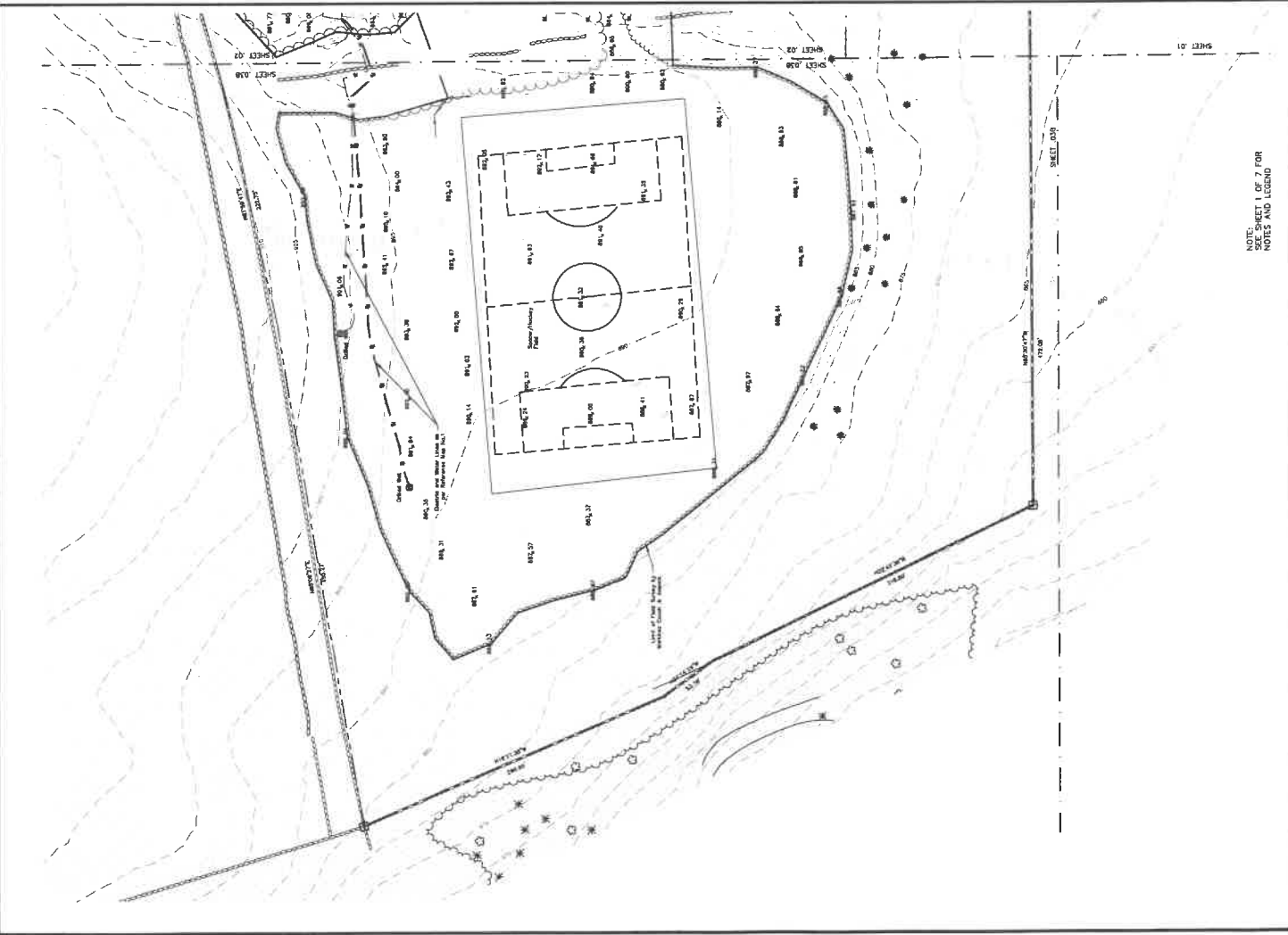
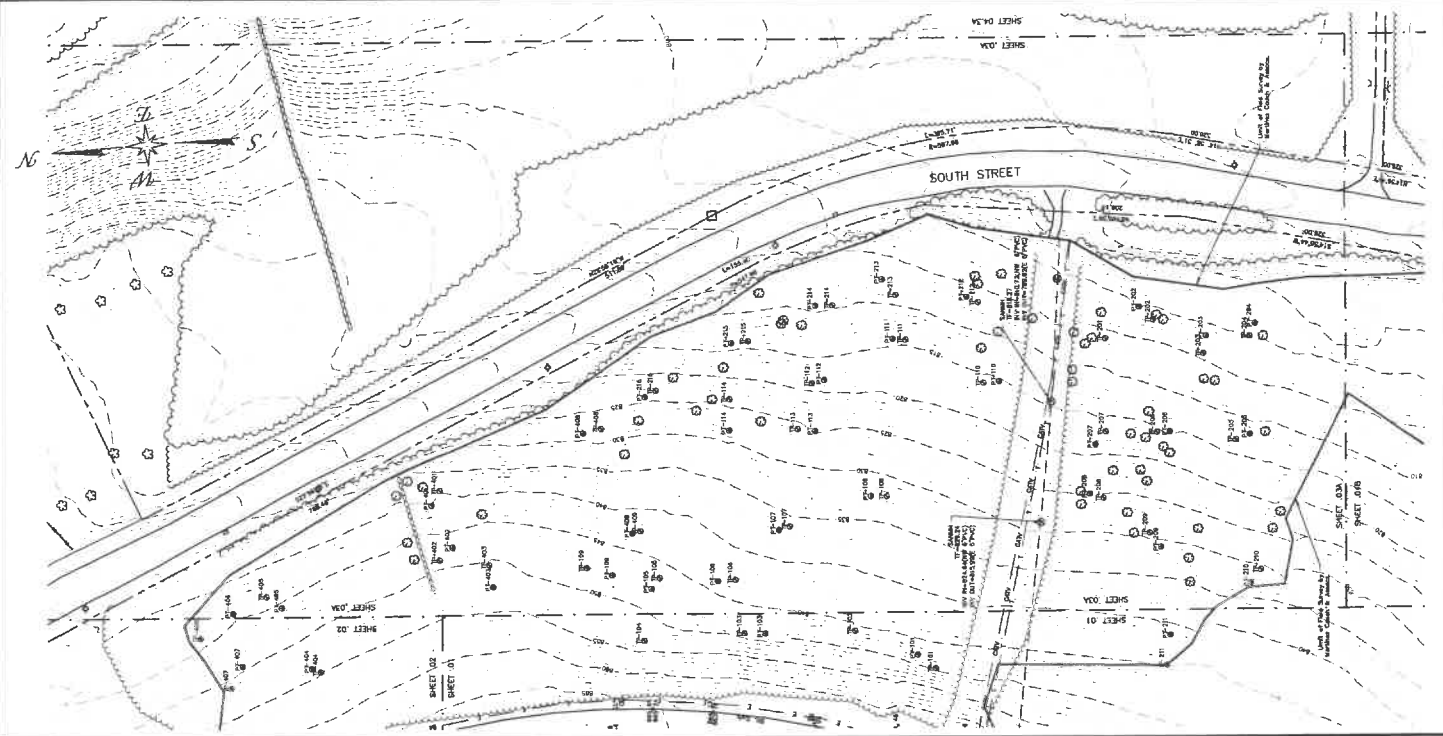
RENOVATIONS
SHEPAUG VALLEY SCHOOL

159 SOUTH STREET
WORTH, TEXAS 76102
SPK 21-2-0025 A/C

VO-AG SPK 212-0026 VAIN

PROJECT NO. 180210
DRAWN BY: JAP

TOPOGRAPHIC
SURVEY



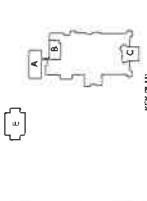
NOTE: SHEET 1 OF 7 FOR
NOTES AND LEGEND



MCA
MCA CONSULTANTS
1000 North Main Street
New Haven, CT 06510
Phone: 203-333-1111
Fax: 203-333-1112

DATE	DESCRIPTION
11/16/07	TOPOGRAPHIC SURVEY
ISSUE DATE	DESCRIPTION
DRAWN	DESCRIPTION

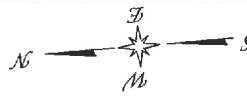
FOR ALL ABBREVIATIONS, SYMBOL LEGENDS,
AND GENERAL NOTES SEE SHEET 101.7



NEW
AGRISCIENCE
STEM ACADEMY
ADDITION &
ASSOCIATED
RENOVATIONS
SHEPAUG VALLEY SCHOOL
150 SOUTH STREET
WASHINGTON STATE
SPN: 217-0025-A/EC
VD-AG SPN: 212-0025-VAN

PROJECT NO. 1007008
DRAWN BY: JBA

TOPOGRAPHIC
SURVEY



NOTE: SHEET 1 OF 7 FOR
NOTES AND LEGEND



DATE	ISSUE DATE
11/16/2017	11/16/2017

REVISIONS	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS,
AND GENERAL NOTES SEE SHEET 007



0 30' 60' 90'
SCALE: 1" = 60'

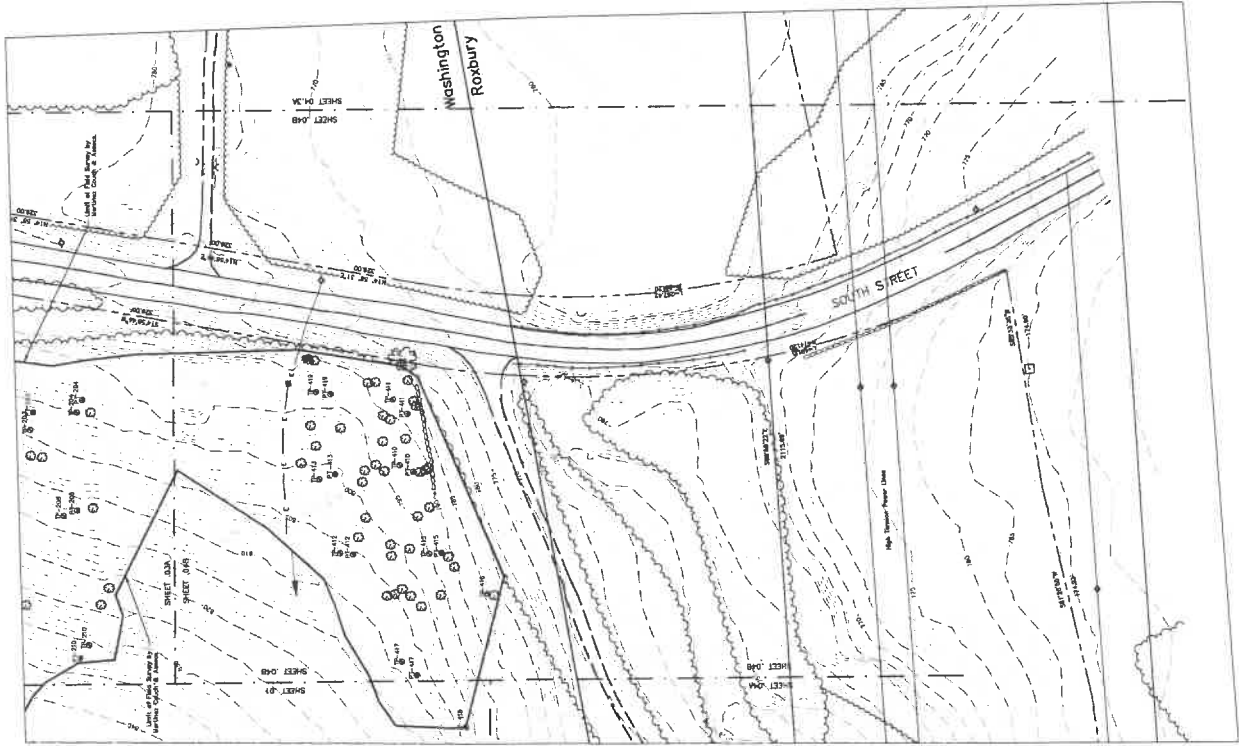


AGSTEM TECHNOLOGY
SCIENCE ENGINEERING
NEW

**AGRISCIENCE
STEM ACADEMY
ADDITION &
ASSOCIATED
RENOVATIONS**
SHEPAUG VALLEY SCHOOL
129 SOUTH STREET
WASHINGTON ROXBURY
SPRINGFIELD, VA 22154
VO-AG SPN: 212-0025 VAPN

PROJECT NO. 1607210 DRAWN BY: JRE

**TOPOGRAPHIC
SURVEY**

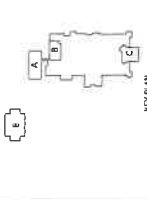


NOTE:
SEE SHEET 1 OF 7 FOR
NOTES AND LEGEND

DATE	1/19/2017
ISSUE DATE	
DESCRIPTION	TOPOGRAPHIC SURVEY

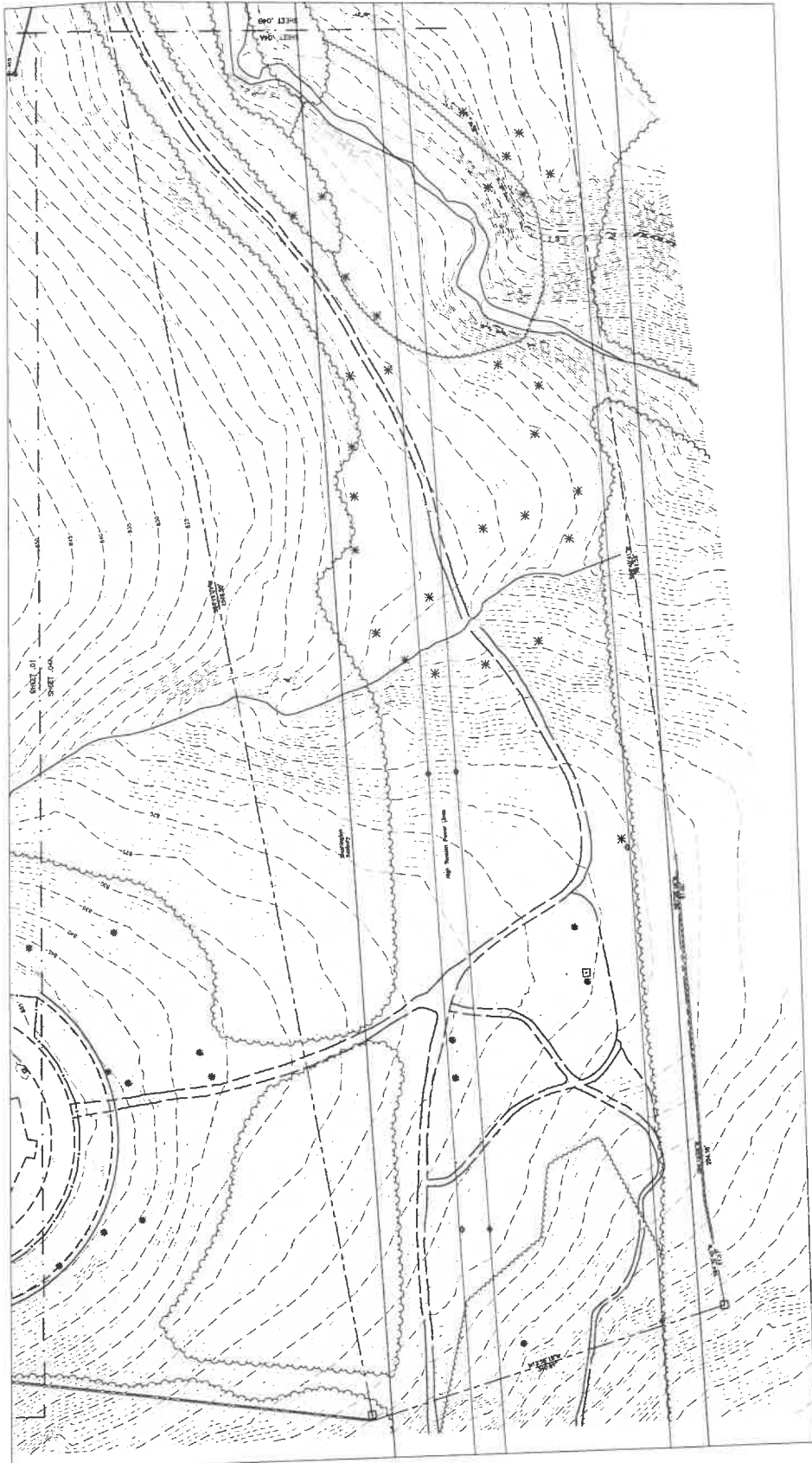
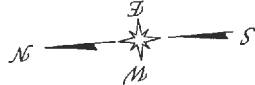
REVISIONS	
DATE	
DESCRIPTION	

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET 1 OF 7



NEW
AGRISCIENCE STEM ACADEMY ADDITION & ASSOCIATED RENOVATIONS
SHEPAUG VALLEY SCHOOL
135 SOUTH STREET
WATERBURY, VT 05671
VO-AG SPN: 212-0025 A/E/C
PROJECT NO. 160233R

TOPOGRAPHIC SURVEY



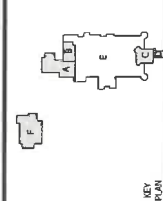
NOTE: SHEET 1 OF 7 FOR NOTES AND LEGEND



DATE	ISSUE DATE
11/15/2018	11/15/2018
DESCRIPTION	DESCRIPTION
CONSTRUCTION 20A	CONSTRUCTION 20A
WORKING INSTRUMENTS	WORKING INSTRUMENTS

DATE	REVISIONS
	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS, LEGENDS,
AND GENERAL NOTES SEE 5-SHEET R01.01



NEW
AGRISCIENCE
STEM ACADEMY
ADDITIONS &
ASSOCIATED
RENOVATIONS
SHEPAUG VALLEY SCHOOL
159 SOUTH STREET
WASHINGTON, CT 06794
SCHOOL DISTRICT #1
VO-AG SPN: 212-0026 V.A.N.

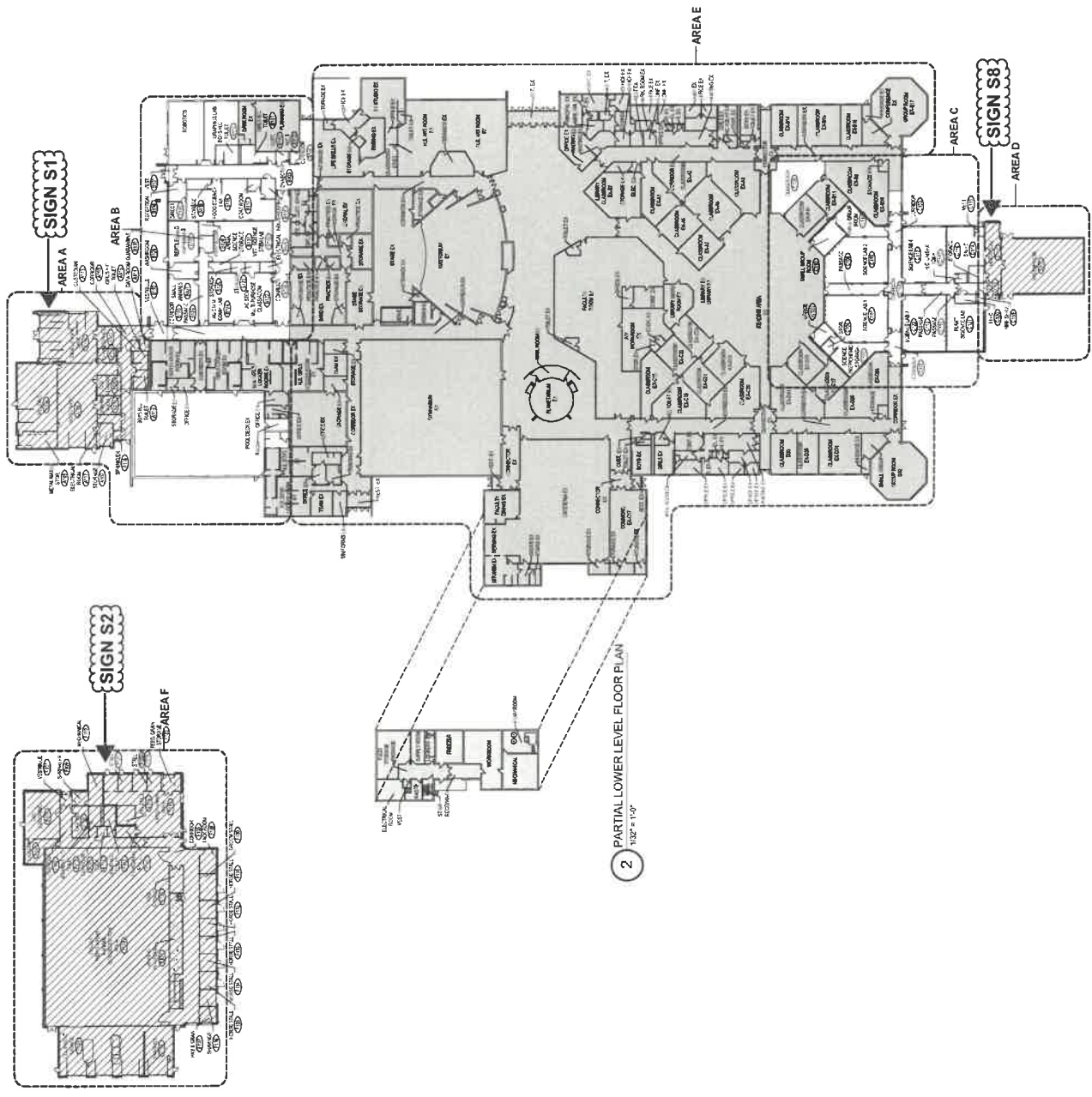
PROJECT NO. 180305
DRAWN BY: AGS

**OVERALL MAIN &
LOWER LEVEL
FLOOR PLANS -
ADDITION / RENO**
DRAWING NO. **A1.00**

CONSTRUCTION PROGRESS LEGEND

[Hatched Box]	NEW CONSTRUCTION
[Solid Grey Box]	EXISTING CONSTRUCTION
[Dotted Box]	ALTERATIONS WORK AREA
[Dark Grey Box]	AREALIKE PRODUCTION DISTRICT
[Light Grey Box]	AREALIKE PRODUCTION ADDITION

(FOR REFERENCE ONLY)



1 OVERALL MAIN LEVEL FLOOR PLAN
1/32" = 1'-0"

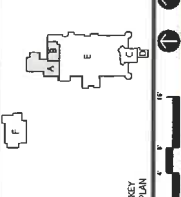
2 PARTIAL LOWER LEVEL FLOOR PLAN
1/32" = 1'-0"



ISSUE DATE	
NO. 1	11/14/2018
NO. 2	11/14/2018
NO. 3	11/14/2018

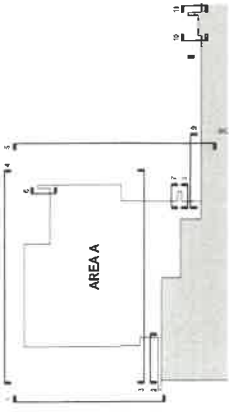
DATE	REVISIONS	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS, LEGENDS, AND GENERAL NOTES SEE SHEET NO. 0.1.

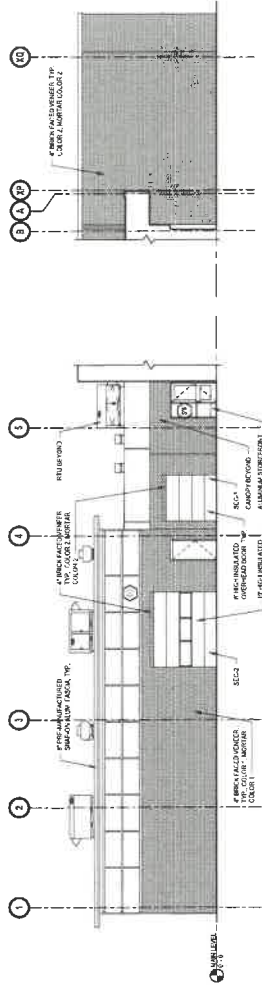


NEW
AGRISCIENCE
STEM ACADEMY & ADDITIONS & ASSOCIATED RENOVATIONS
SHEPAUG VALLEY SCHOOL
159 SOUTH STREET
SHEPAUG, CT 06784
SHEPAUG TOWN
VO-AG-SPN-2-12-2025 V.M./C
PROJECT NO. 180700 DRAWN BY: JAC

EXTERIOR ELEVATIONS - ADDITION / RENO

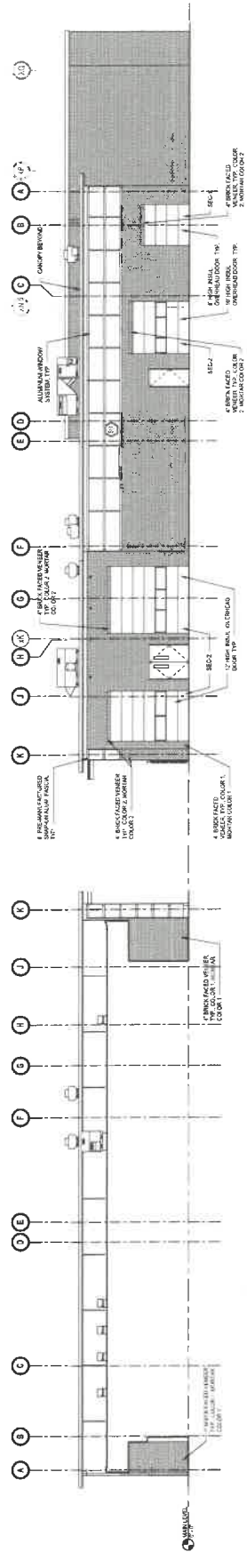


AREA A ELEVATION KEY PLAN



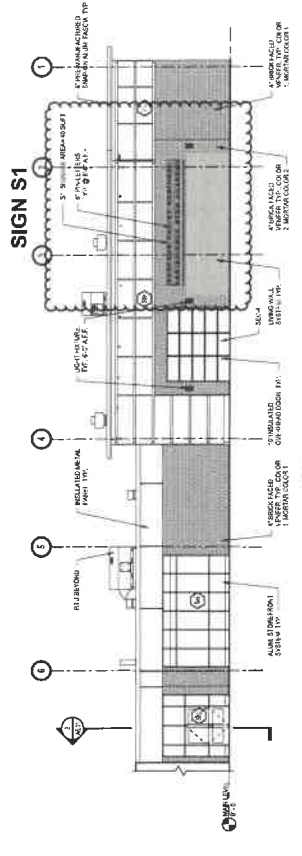
1 WEST ELEVATION
1/8" = 1'-0"

2 PARTION SOUTH ELEVATION
1/8" = 1'-0"

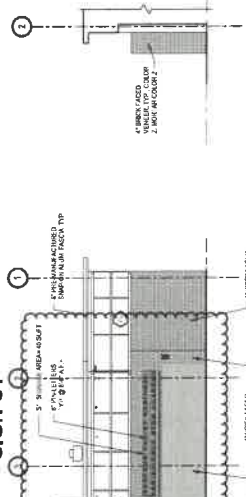


3 PARTION NORTH ELEVATION
1/8" = 1'-0"

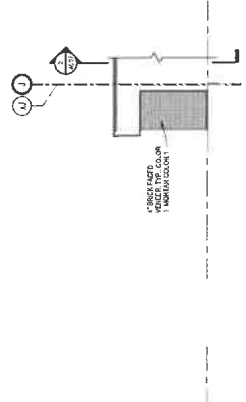
4 SOUTH ELEVATION
1/8" = 1'-0"



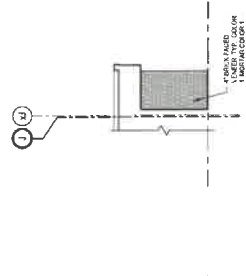
5 EAST ELEVATION
1/8" = 1'-0"



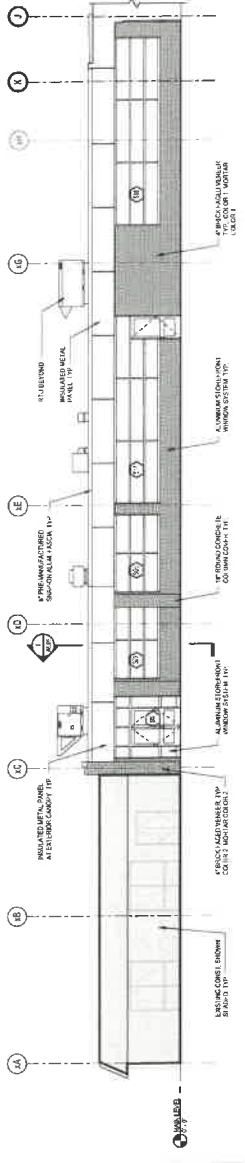
6 PARTIAL WEST ELEVATION
1/8" = 1'-0"



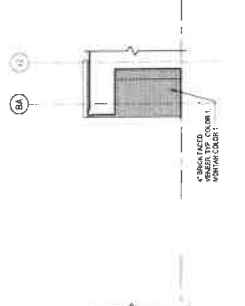
7 PARTIAL NORTH ELEVATION
1/8" = 1'-0"



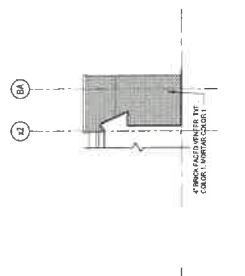
8 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



9 PARTIAL NORTH ELEVATION
1/8" = 1'-0"



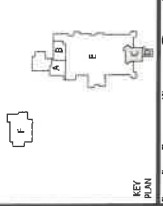
10 PARTIAL WEST ELEVATION
1/8" = 1'-0"



11 PARTIAL EAST ELEVATION
1/8" = 1'-0"



ISSUE DATE	DESCRIPTION
04/13/2011	FOR ALL ABBREVIATIONS, SYMBOLS, LEGENDS, AND GENERAL NOTES SEE SHEET 1001.
DATE	REVISIONS DESCRIPTION

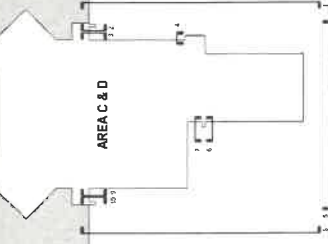


AGSTEM
SCIENCE
SHEPAUG
ENGINEERING

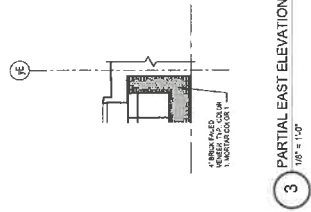
NEW
AGRISCIENCE
STEM ACADEMY
ADDITIONS & ASSOCIATED
RENOVATIONS
SHEPAUG VALLEY SCHOOL
159 SOUTH STREET
WATERBURY, CT 06704
CONTRACT NO. 11-0025 AIFC
NO-AG SPP# 212-0026 VJ/VN

PROJECT NO.: 107130 DRAWN BY: MEZ

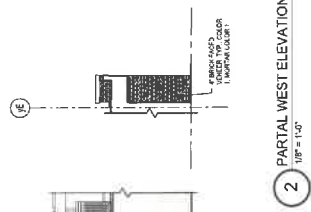
EXTERIOR
ELEVATIONS II -
ADDITION / RENO



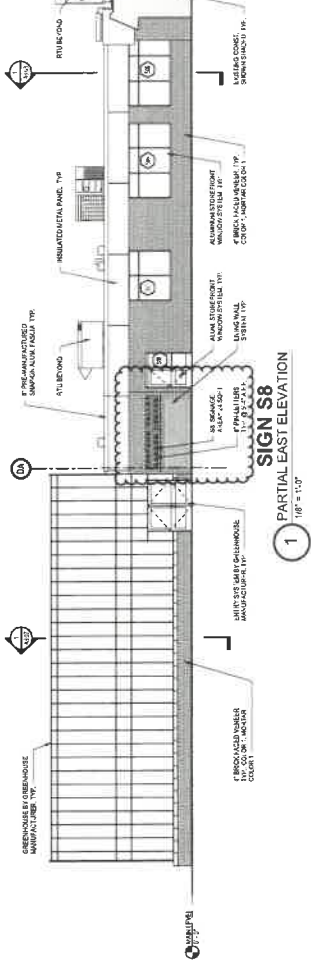
AREA C & D ELEVATION
KEY PLAN



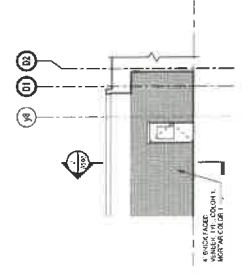
3 PARTIAL EAST ELEVATION
1/8" = 1'-0"



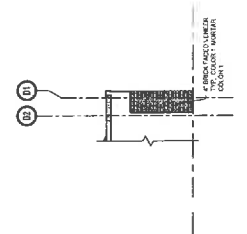
2 PARTIAL WEST ELEVATION
1/8" = 1'-0"



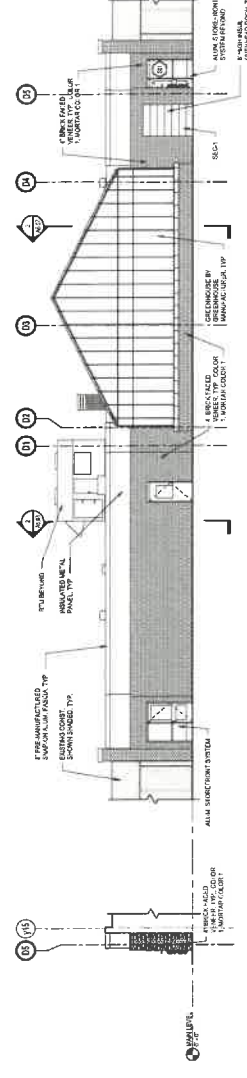
1 PARTIAL EAST ELEVATION
1/8" = 1'-0"



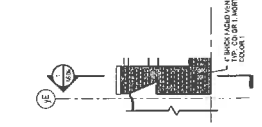
7 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



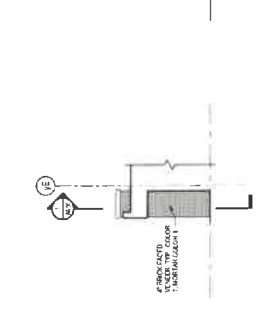
6 PARTITION SOUTH ELEVATION
1/8" = 1'-0"



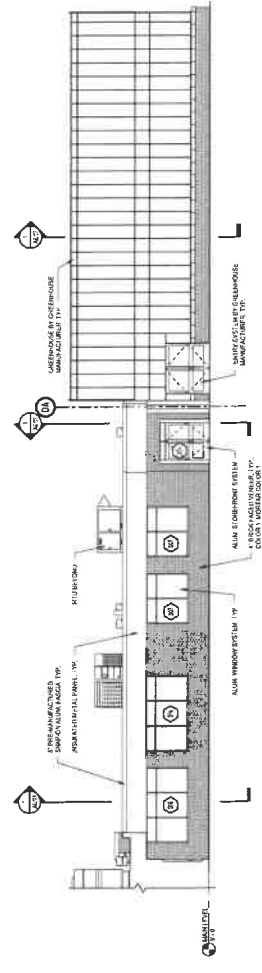
5 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



10 PARTIAL WEST ELEVATION
1/8" = 1'-0"



9 PARTIAL EAST ELEVATION
1/8" = 1'-0"



8 PARTIAL WEST ELEVATION
1/8" = 1'-0"

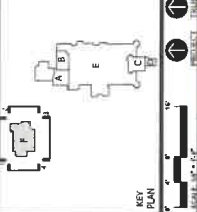
4 PARTITION NORTH ELEVATION
1/8" = 1'-0"



DATE	ISSUE DATE
February 21, 2018	DESCRIPTION: REVISION 20A, VARIATIONS TO 20A

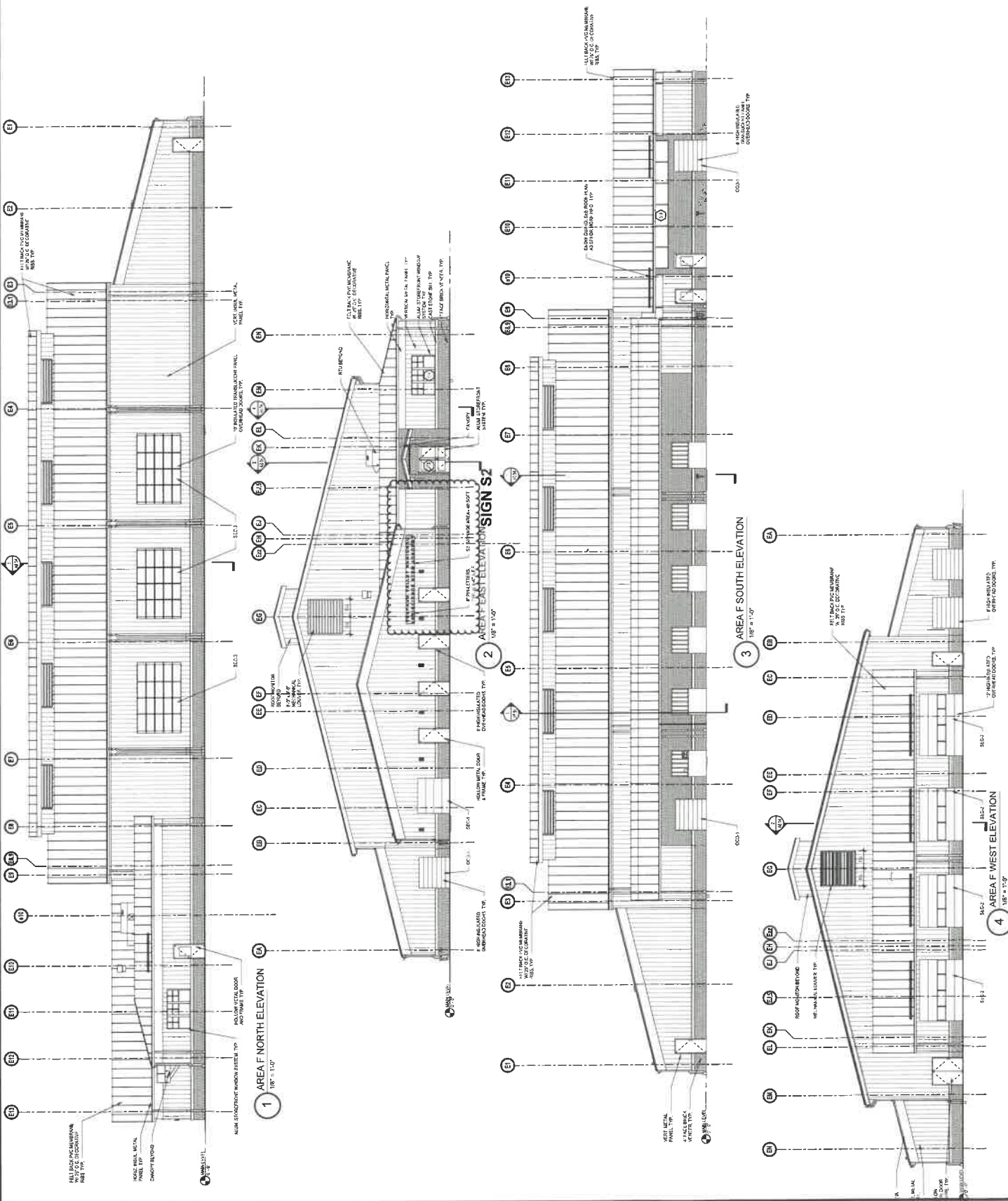
DATE	REVISIONS
	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS, LEGENDS, AND GENERAL NOTES SEE SHEET R001.



NEW
AGRISCIENCE STEM ACADEMY ADDITIONS & ASSOCIATED RENOVATIONS
SHEPPARD VALLEY SCHOOL
 159 SOUTH STREET
 WASHINGTON, CT 06094
 PROJECT NO: 18-001-001-001
 V.D.-AG SPRN: 2-22-0026 V.A./N
 DRAWN BY: MEB
 PROJECT NO: 18-001-001

EXTERIOR ELEVATIONS III - ADDITION / RENO



1 AREA F NORTH ELEVATION
 1/8" = 1'-0"

2 AREA F EAST ELEVATION
 1/8" = 1'-0"

3 AREA F SOUTH ELEVATION
 1/8" = 1'-0"

4 AREA F WEST ELEVATION
 1/8" = 1'-0"



ISSUE DATE: 12/15/2010
PROJECT NO: 10000000000000000000
DRAWN BY: JH
CHECKED BY: JH
DATE: FEBRUARY 22, 2011
PROJECT: VANCE, NC 27681

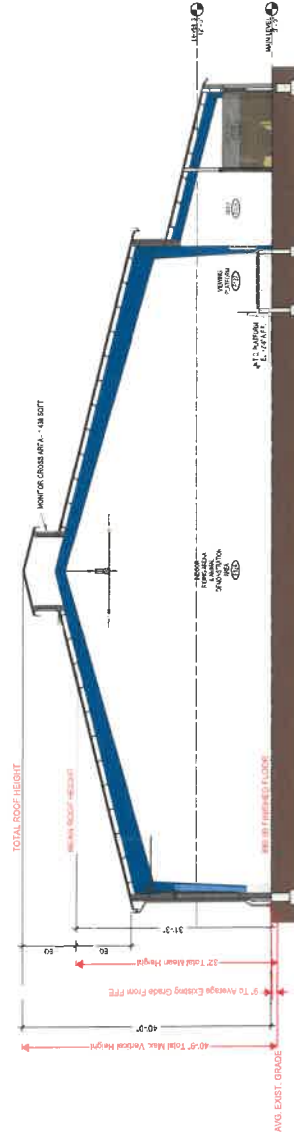
DATE	REVISION	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS, LEGENDS, AND GENERAL NOTES SEE SHEET R301.



NEW
AGRISCIENCE STEM ACADEMY ADDITIONS & ASSOCIATED RENOVATIONS
SHEPAUG VALLEY SCHOOL
159 SOUTH STREET
SHEPAUG, NC 27681
SCIENCE SPN: 70-1-007-948
VO-AG SPN: 212-0026 VAIN
PROJECT NO: 100100
DRAWN BY: JH

EQUINE / GARAGE / ANIMAL SECTION (AREA F)



BUILDING SECTION

MEGAN BENNETT
Superintendent of Schools
bennettm@region-12.org

NICOLE GRANT
Director of Finance
grantn@region-12.org

DONALD O'LEARY
Director of Facilities
olearyd@region-12.org



TERESA DEBRITO, Ed.D.
Director of Curriculum,
Instruction & Assessment
debritot@region-12.org

ALLYSON O'HARA
Director of Pupil
Personnel Services
oharaa@region-12.org

November 23, 2021

Ms. Shelley White
Land Use Administrator
Town of Washington
PO Box 383
Washington, CT

Re: Request for Zoning Variance, Modification
Regional School District 12 – Equipment Garage Location Change

Dear Ms. White,

The attached application is to correct the record of location and size of what was proposed to be "Ftr. Vehicle storage garage & salt shed of 1,980 sf & 500 sf respectively" from the previous approved Zoning Variance request submitted February 22, 2018 by KBA Architects on behalf of Regional School District 12 during the Agri-science STEM Additions and Associated Renovations.

Nine copies of the Overall Site Drawing – Approved March 2018 are enclosed indicating the original proposed location and size to be in the upper right corner of the property and the drawing.

The School District has reconsidered its options for the building use and would like to relocate the structure on the property to a location other than what the original drawing submitted February 22, 2018 had shown. In addition to the location change, the size has changed also.

Nine copies of the Overall Site Drawing – Proposed November 2021 are enclosed indicating the new location and size of the structure on the property near the bottom left corner of the property and the drawing.

During our discussions previous to this request being submitted it was relayed that the provided site drawing have the distance of the new structure to the property lines and the drawing shows any wetlands. The new structure is to be located outside of the 100 foot buffer from the pond as shown on the drawing.

A single copy of the Topographic Survey Overview 1 of 7 – Land Use Department Review Sheet is enclosed indicating the distances to the property lines and the 100 foot buffer from the pond.

During our discussions previous to this request being submitted it was relayed that the provided site drawings have the distance of the new structure to the wells and septic systems.

A single copy of the Topographic Survey Overview 1 of 7 – Health Department Review Sheet is enclosed indicating the distances to the wells and septic systems.

This application is not requesting a change in the previously approved 23% Variance of Lot Coverage size as a result of reviewing the documents that supported the original application submitted in February 22, 2018. The below information was used to support this decision.

Discussion of property size and its previously approved variance of 23%:

During the exercise to develop the information necessary for this application, the previous approved application submitted February 22, 2018 by KBA Architects on behalf of Regional School District 12 was reviewed and the following information regarding lot coverage was found.

The lot size used on the application was 67.9 acres (2,957,724 sf). Therefore, the variance of 23% equates to a lot coverage of 680,276.52 sf.

When the math details below are used to calculate the lot coverage based on the change of location being requested it calculates as follows.

The net effect of the changes being submitted is an increase of 1,506 sf to the lot coverage.

The existing lot coverage of 680,276.52 sf plus the additional 1,506 sf based on the building location changes on these drawings and the application total up to 681,782.52 sf/2,957,724 sf = .2305 or 23%.

Details of size:

During our discussions previous to this application being submitted, the larger size of the new structure compared to the original approved request was considered to alter the Lot Coverage.

The original approved variance indicated a size of the “Ftr. Vehicle storage garage & salt shed” of 1,980 sf & 500 sf respectively, totaling 2,480 sf.

The new building’s changed location puts it in place of an existing Athletic Equipment Storage Garage of 564 sf. The existing Athletic Equipment Storage Garage will be demolished and scrapped.

The proposed request in this application shows a building size of 3,900 sf plus an apron of asphalt for vehicle approach of 650 sf, totaling 4,550 sf of additional lot coverage size.

The net effect of the above is:

Items being deducted; $2,480 + 564 = 3,044$ sf

Items being added; 4,550 sf

Net effect: $4,550$ sf - $3,044$ sf = $1,506$ sf of additional coverage over the Original Approved Lot Coverage Variance of 23%.

The lot size on the Original application dated February 22, 2018 was 67.9 acres.

Sincerely,

A handwritten signature in purple ink that reads "Don O'Leary". The signature is cursive and stylized.

Don O'Leary
Director of Facilities

cc: Zoning Board of Appeals
Town of Washington