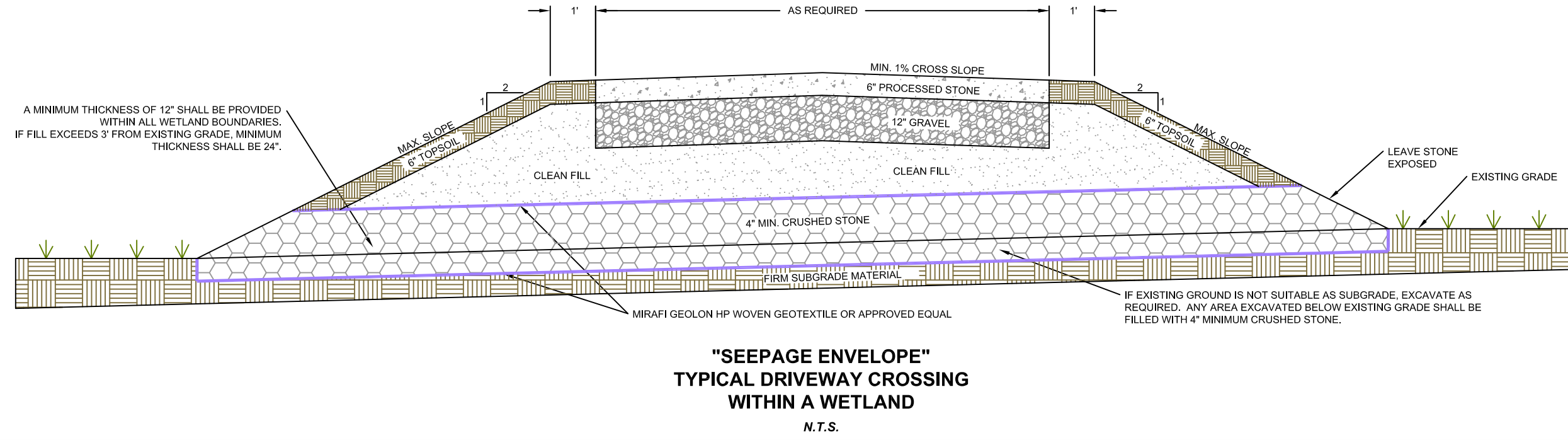
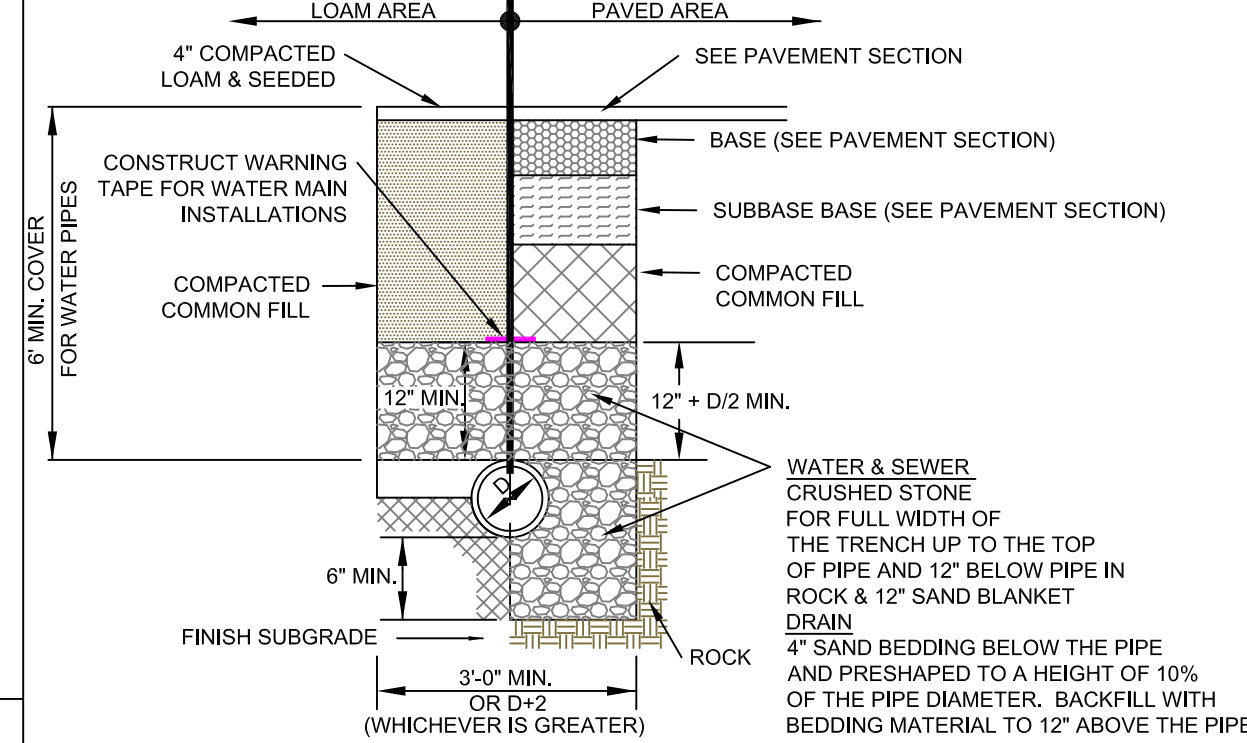


PLACEMENT AND CONSTRUCTION OF A SILT FENCE BARRIER
N.T.S.

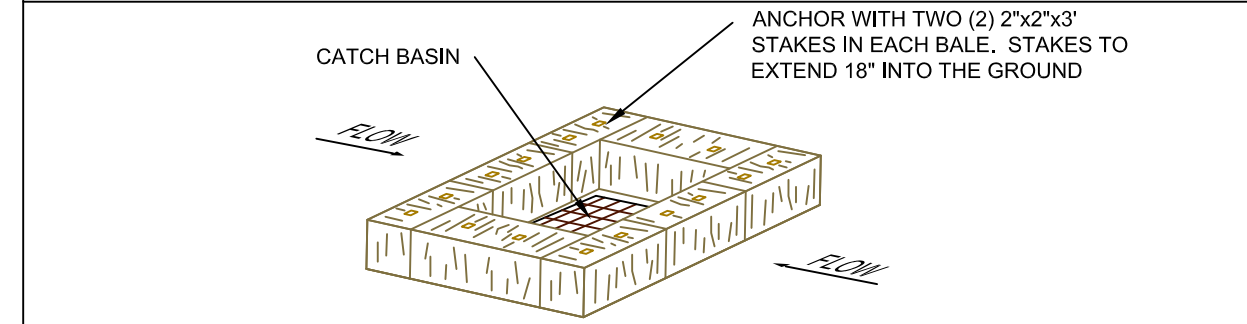


"SEEPAGE ENVELOPE" TYPICAL DRIVEWAY CROSSING WITHIN A WETLAND
N.T.S.



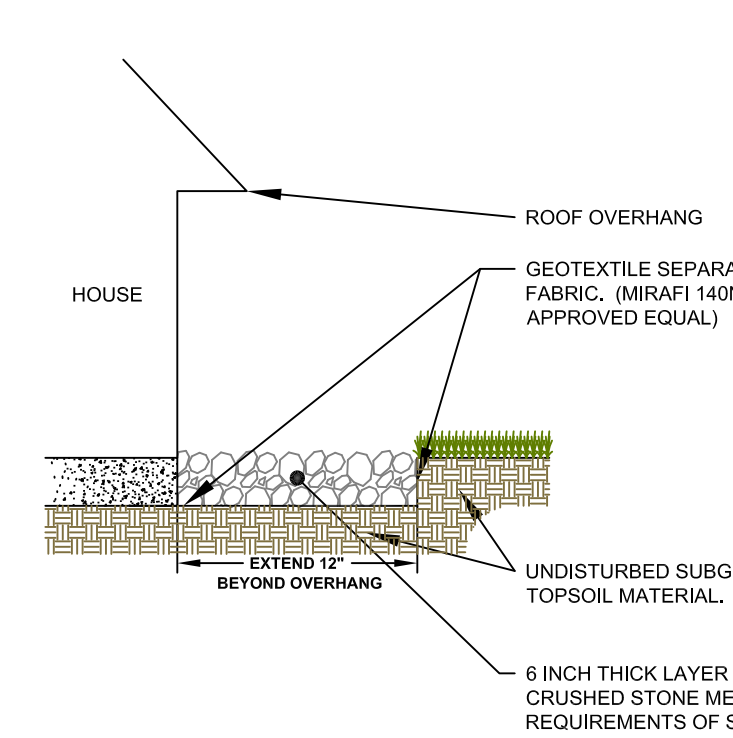
- NOTES**
- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, & SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
 - CONSTRUCT SECTION FOR ALL WATERLINES, SANITARY SEWERS & SOLID DRAINAGE PIPES.
 - WATER LINE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH AQUARIUM WATER COMPANY ESTABLISHED RULES AND PROCEDURES

UTILITY TRENCH
N.T.S.

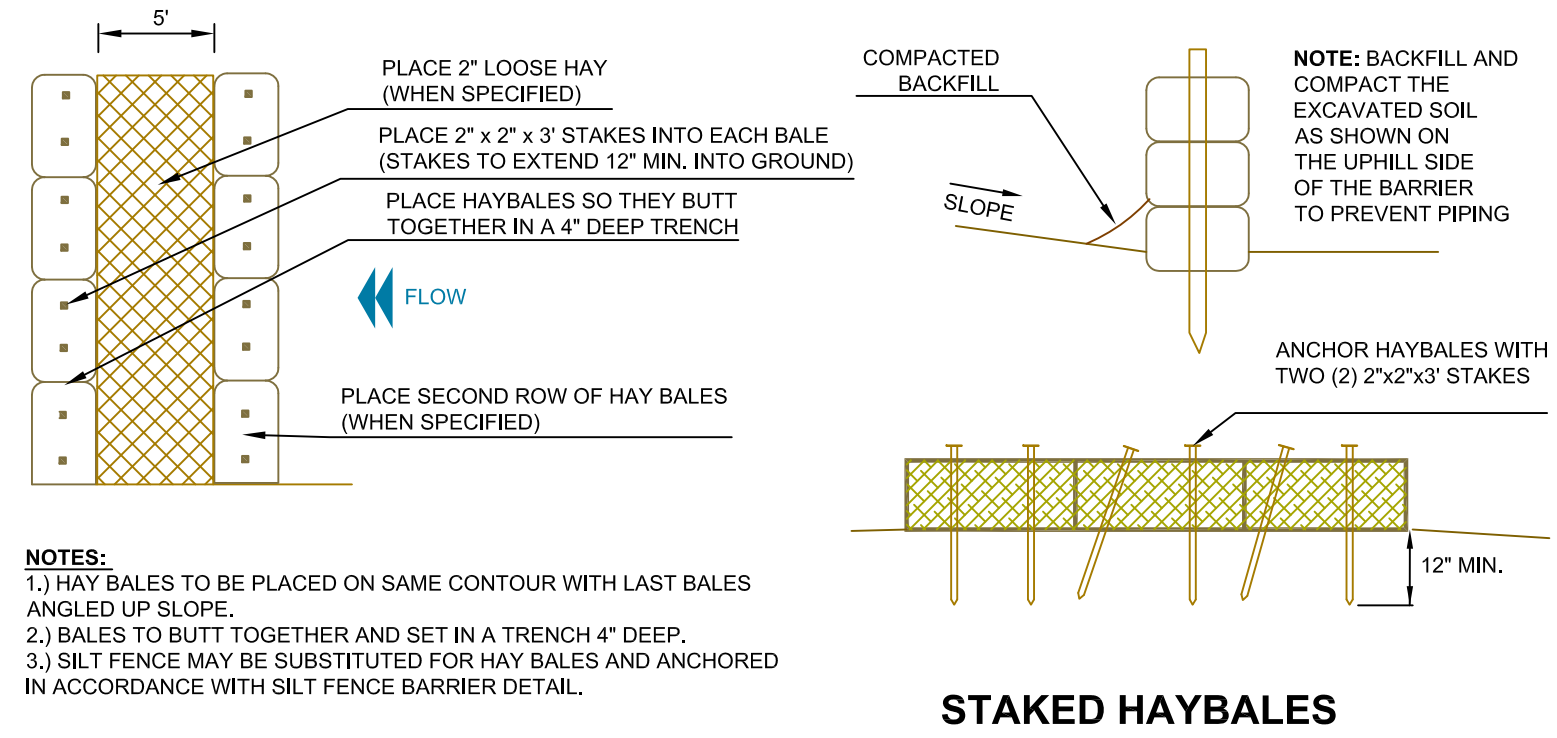


HAY BALE INSTALLATION AT CATCH BASINS
N.T.S.

- SOIL EROSION AND SEDIMENTATION CONTROL PLAN**
- THIS PROJECT INVOLVES THE CONSTRUCTION OF A SINGLE FAMILY GUEST HOUSE, OTHER IMPROVEMENTS ALSO INCLUDED AS PART OF THIS PROJECT INCLUDE THE CONSTRUCTION OF A BOARDWALK, TEMPORARY CONSTRUCTION ACCESSWAY, SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR THE GUEST HOUSE AND ONE FOR THE MAIN HOUSE, GRADING, WATERCOURSE CROSSINGS, INVASIVE SPECIES REMOVAL & OTHER RELATED APPURTENANCES.
 - THE AREA OF THE PROJECT SITE IS APPROXIMATELY 9.2 ACRES, OF WHICH ABOUT 1.9 ACRES ARE EXPECTED TO BE DISTURBED.
 - SPECIAL CARE SHOULD BE TAKEN ON THIS SITE TO ENSURE THAT THE CONSTRUCTION FENCE, SILT FENCE AND/OR HAY BALES ARE REPLACED PROMPTLY IF DAMAGED.
 - THE CONSTRUCTION OF THE NEW GUEST HOUSE, BOARDWALK, AND RELATED APPURTENANCES ARE THE ONLY IMPROVEMENTS ASSOCIATED WITH THIS PROJECT.
 - ALL NECESSARY PERMITS SHALL BE ACQUIRED PRIOR TO THE START OF CONSTRUCTION.
- 1.6.1 SOIL EROSION AND SEDIMENT CONTROL MEASURES**
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ANY NECESSARY SURVEYING TO MARK BOUNDARY LINES AND/OR LIMITS OF CLEARING SHALL BE COMPLETED.
 - EROSION CONTROL MEASURES, AS SHOWN ON THE PLAN, SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SAID MEASURES ARE TO BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED AND ALL SEEDED AREAS HAVE ESTABLISHED GROWTH.
 - ANY MATERIAL STORAGE PILES OUTSIDE THE IMMEDIATE CONSTRUCTION AREA SHALL HAVE A SILT FENCE OR APPROVED EQUAL SURROUNDING THEM TO CONFINE THE MATERIAL AND POSSIBLE EROSION.
 - THE DISTURBANCE OF LAND SHALL BE AS MINIMAL AS PRACTICABLE. RESTABILIZATION OF ALL AREAS SHALL OCCUR AS SOON AS POSSIBLE. IF DISTURBED AREAS ARE EXPOSED FOR MORE THAN 30 DAYS, IT SHALL BE TEMPORARILY SEEDED PER SECTION 5-3 OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED. IN THE EVENT THAT CONSTRUCTION OCCURS DURING TIMES WHEN SEEDING CAN NOT BE CARRIED OUT, ERODIBLE AREAS SHALL BE MULCHED WITH HAY OR HAVE NETTING INSTALLED AND MAINTAINED TO PREVENT EROSION.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PRACTICES AS SET FORTH IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED.
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY. IF THE MEASURES ARE DAMAGED, THEY SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY.
 - IN ORDER TO PREVENT EROSION, EARTH SLOPES SHALL BE 2' (HORIZONTAL) TO 1' (VERTICAL) MAXIMUM. ALL 2(H)1(V) SLOPES SHALL BE STABILIZED WITH BIODEGRADABLE MATTING OR APPROVED EQUAL.
 - IN ORDER TO CONTROL SEDIMENT, TEMPORARY BARRIERS, UTILIZING STAKED HAY BALES OR SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. ANY TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
 - ANY REQUIRED CULVERTS OR DRAINAGE FACILITIES SHALL BE OF PROPER CONSTRUCTION SO AS TO PREVENT EROSION DURING AND AFTER CONSTRUCTION.
 - ADDITIONAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AFTER THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND A REPRESENTATIVE FROM THE TOWN SHALL BE PRESENT.
- 1.6.2 CONSTRUCTION NOTES AND SEQUENCE FOR CONSTRUCTION OF PROPOSED GUEST HOUSE AND BOARDWALK**
- OBTAIN ALL NECESSARY PERMITS.
 - FLAG THE LIMITS OF CONSTRUCTION, TEMPORARY CONSTRUCTION ACCESS BASELINE, AND TREE PROTECTION AREAS. ANY TREES WITHIN CONSTRUCTION AREA THAT ARE TO BE SAVED SHOULD BE PROTECTED WITH CONSTRUCTION FENCING.
 - HOLD PRECONSTRUCTION MEETING (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
 - HOLD TREE CUTTING MEETING.
 - INSTALL THE CONSTRUCTION ENTRANCE (1 DAY).
 - INSTALL EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLAN PRIOR TO CONSTRUCTION ACTIVITY. (1 WEEK) CONTACT TOWN OF WASHINGTON WETLANDS ENFORCEMENT OFFICER FOR REVIEW OF INSTALLED EROSION CONTROLS. ALLOW 48 HOURS NOTICE.
 - ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AFTER 1/4" RAIN EVENTS OR LARGER. REPAIR OR REPLACE EROSION CONTROLS AS NECESSARY (DURATION OF PROJECT).**
 - PHASE 1:**
 - INSTALL TEMPORARY CONSTRUCTION ACCESS ROAD TO PROPOSED GUEST HOUSE LOCATION. A TEMPORARY SEEPAGE ENVELOPE IS TO BE CONSTRUCTED IN THE AREA OF THE WETLANDS CROSSING. INSTALL THE 24" CPP TO ALIGN WITH THE EXISTING WATERCOURSE. (2 WEEKS)
 - CUT TREES WITHIN THE DEFINED CLEARING LIMITS AND REMOVE CUT WOOD. CHIP BRUSH AND SLASH, STOCKPILE CHIPS FOR FUTURE USE OR REMOVE OFF SITE (1 WEEK).
 - EXCAVATE ALL STUMPS LOCATED IN THE STRUCTURAL AREA AND REMOVE TO A DISPOSAL SITE OR STOCKPILE AREA TO BE CHIPPED. STUMPS IN NON-STRUCTURAL AREAS MAY BE GROUND IN PLACE OR CUT FLUSH WITH THE GROUND LEVEL AND LEFT IN PLACE IN ACCORDANCE WITH THE PLANS (1 WEEK).
 - STRIP ALL TOPSOIL WITHIN THE SLOPE LIMITS, STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS (1 WEEK).
 - MAKE ALL CUTS AND FILLS REQUIRED. ESTABLISH THE SUBGRADE FOR THE TOPSOIL AREAS AND PATHS. BENCH THE PROPOSED HOUSE AREA TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOTPRINT OF THE HOUSE FOR THE CONSTRUCTION ACTIVITIES (1 WEEK).
 - BEGIN CONSTRUCTION OF THE GUEST HOUSE. INSTALL SEPTIC SYSTEM AND WELL. PERMANENTLY SEED SEPTIC AREA IMMEDIATELY AFTER INSTALLATION. WITHIN TWO WEEKS OF ROOF COMPLETION, STONE SPLASH IN FILTRATION TRENCH SHALL BE INSTALLED SO THAT THE RUNOFF CAN BE APPROPRIATELY HANDLED PER THE PLAN. (6 MONTHS).
 - BEGIN CONSTRUCTION OF THE BOARDWALK. HELICAL PIER INSTALLATION AND BOARDWALK CONSTRUCTION SHOULD OCCUR DURING PERIOD IN WHICH THERE IS NO RAINFALL 48 HOURS PRIOR AND NO RAINFALL FORECAST 72 HOURS AFTER COMMENCEMENT (2 WEEKS). BOARDWALK IS TO BE CONSTRUCTED USING HELICAL PIERS.
 - CONSTRUCT DRAINAGE PER PLANS. INSTALL ALL UNDERGROUND UTILITIES TO WITHIN 5 FEET OF THE HOUSE AT THIS TIME (1 WEEK). UTILITIES ARE TO BE CONNECTED TO THE BOARDWALK WHEN CROSSING THE WETLANDS WITH ADEQUATE PROTECTION.
 - PREPARE SUB-BASE, SLOPES, PATHWAYS, AND ANY OTHER DISTURBANCE FOR FINAL GRADING (1 WEEK).
 - APPLY FINISHED SURFACE TO PATHWAYS. (1 WEEK).
 - PLACE TOPSOIL WHERE REQUIRED. COMPLETE ANY PROPOSED PERIMETER LANDSCAPE PLANTINGS (1 WEEK).
 - FINE GRADE, RAKE, SEED, AND MULCH (1 WEEK).
 - UPON SUBSTANTIAL COMPLETION OF THE GUEST HOUSE, COMPLETE THE BALANCE OF SITE WORK AND APPLY STABILIZATION MEASURES (I.E. TOPSOIL, SEEDING, SODDING, MULCHING, ETC.) TO DISTURBED AREAS. FOLLOW SECTION 5-3 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (1 WEEK).
 - INSPECT AND CLEAN DRAINAGE AS NEEDED (1 DAY).
 - CLEAN UP ANY TRAPPED SEDIMENT AND PLACE IN AN AREA THAT WILL ALLOW IT TO BLEND INTO THE LANDSCAPE. REMOVE SES CONTROLS AT PROPER TIMES. (ONLY AFTER ALL CONSTRUCTION AREAS ARE STABILIZED.) (1 DAY)
 - PHASE 2:**
 - CLEAN UP TEMPORARY CONSTRUCTION ACCESS ROAD WORKING FROM THE GUEST HOUSE TO WETLANDS. REMOVE THE SEEPAGE ENVELOPE, 24" CPP AT THE WATERCOURSE CROSSING AND TEMPORARY ACCESS WAY THROUGH THE WETLANDS. RESTORE ALL DISTURBED AREAS.
 - REMOVE INVASIVE SPECIES AS PER PLANS. SEE ADDITIONAL INVASIVE SPECIES NOTES ON SHEET SES.2. INSTALL PROPOSED PLANTINGS PER LANDSCAPE ARCHITECT PLAN. (2 WEEKS)
 - CONSTRUCT PROPOSED SEPTIC SYSTEM TO SERVE THE MAIN HOUSE AND GARAGE. DISCONNECT THE EXISTING SEPTIC SYSTEM, PUMP AND CRUSH/REMOVE EXISTING MAIN HOUSE SEPTIC SYSTEM. COMPLETE FINAL GRADING, SEED AND HAY. (3 WEEKS)
 - AFTER SEPTIC AREA IS STABILIZED, REMOVE TEMPORARY CONSTRUCTION ACCESS WAY BACK TO THE ROAD. RESTORE ALL DISTURBED AREAS AND STABILIZE. (1 WEEK)
 - AFTER ALL DISTURBED AREAS ARE STABILIZED, REMOVE TEMPORARY PERIMETER EROSION CONTROLS (I.E. SILT FENCE, HAYBALES, ETC.) (3 DAYS).

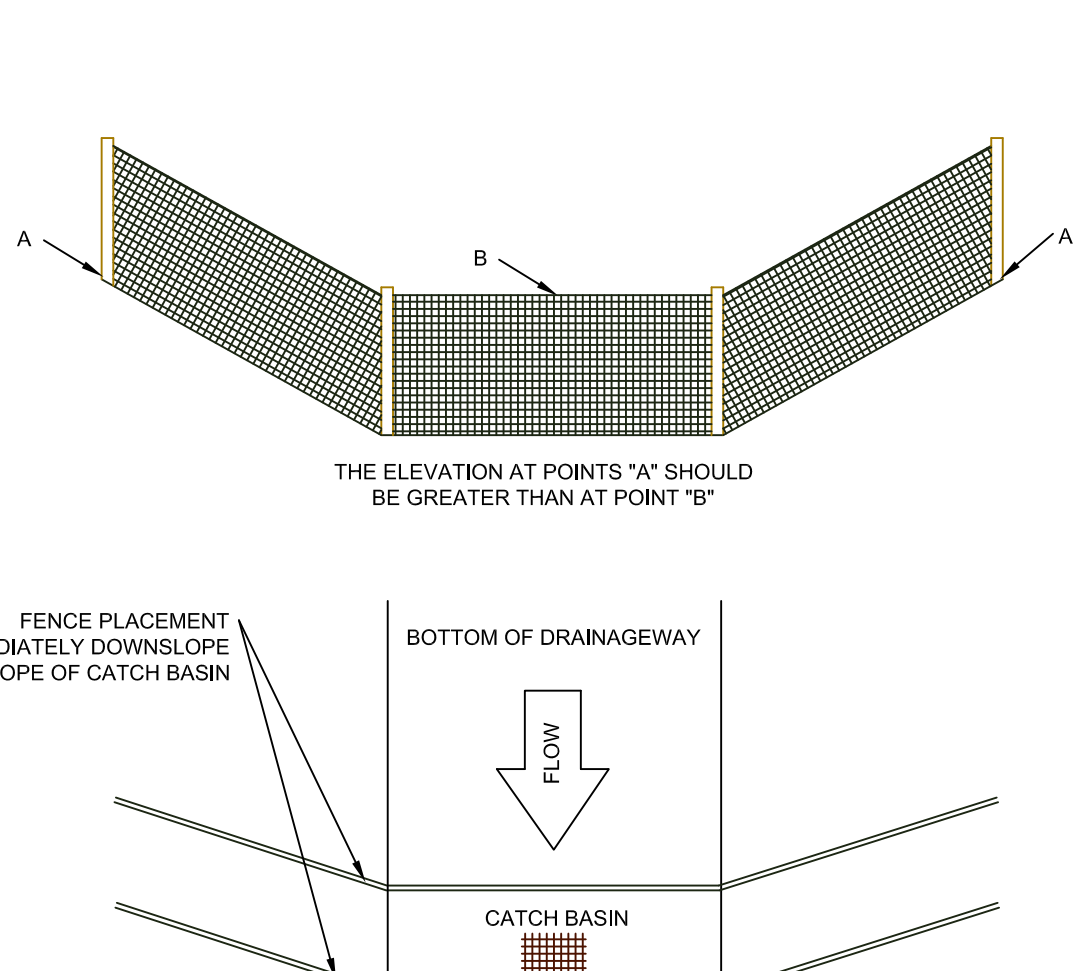


ROOF STONE INFILTRATION TRENCH
N.T.S.

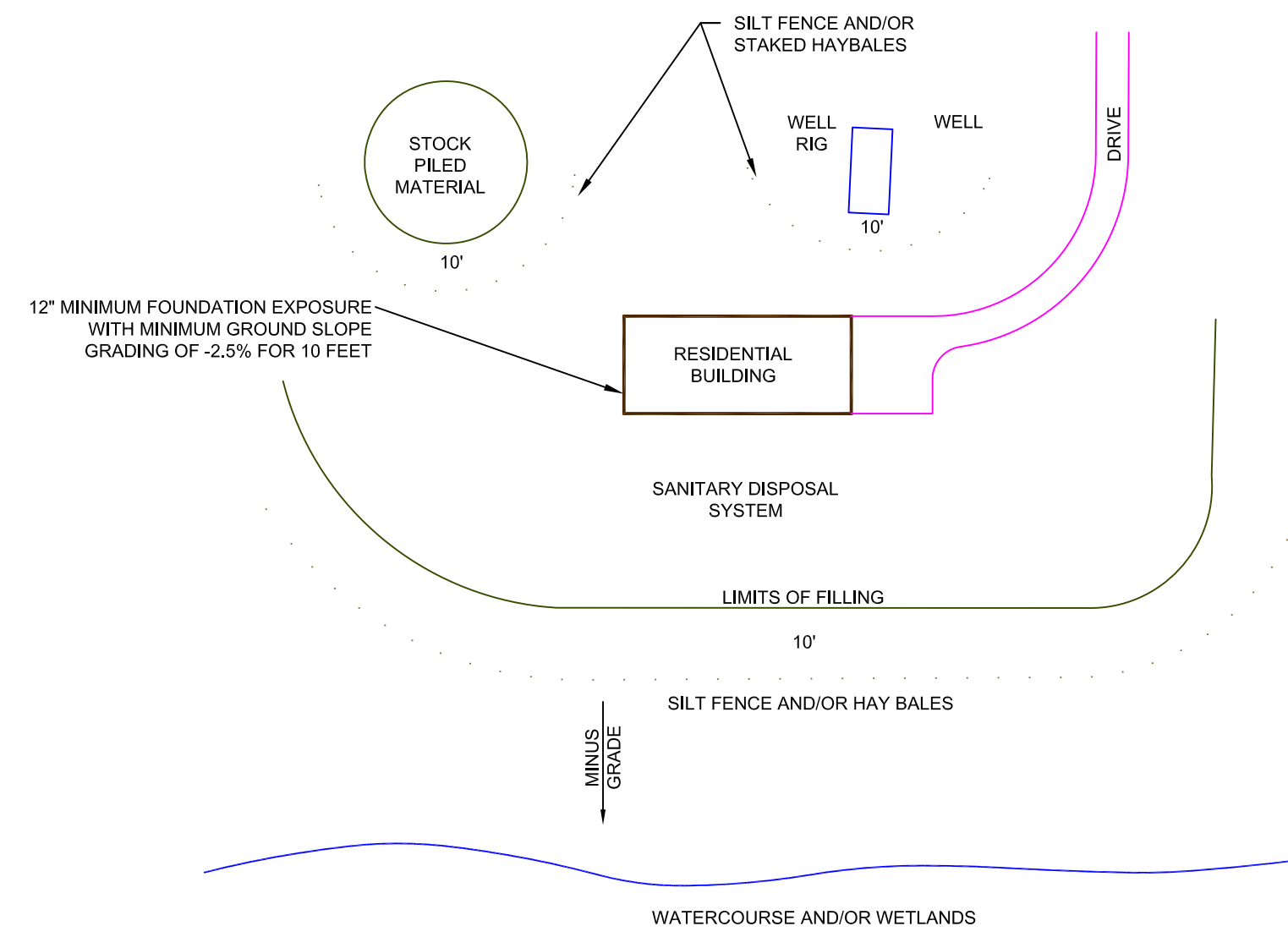


STAKED HAYBALES
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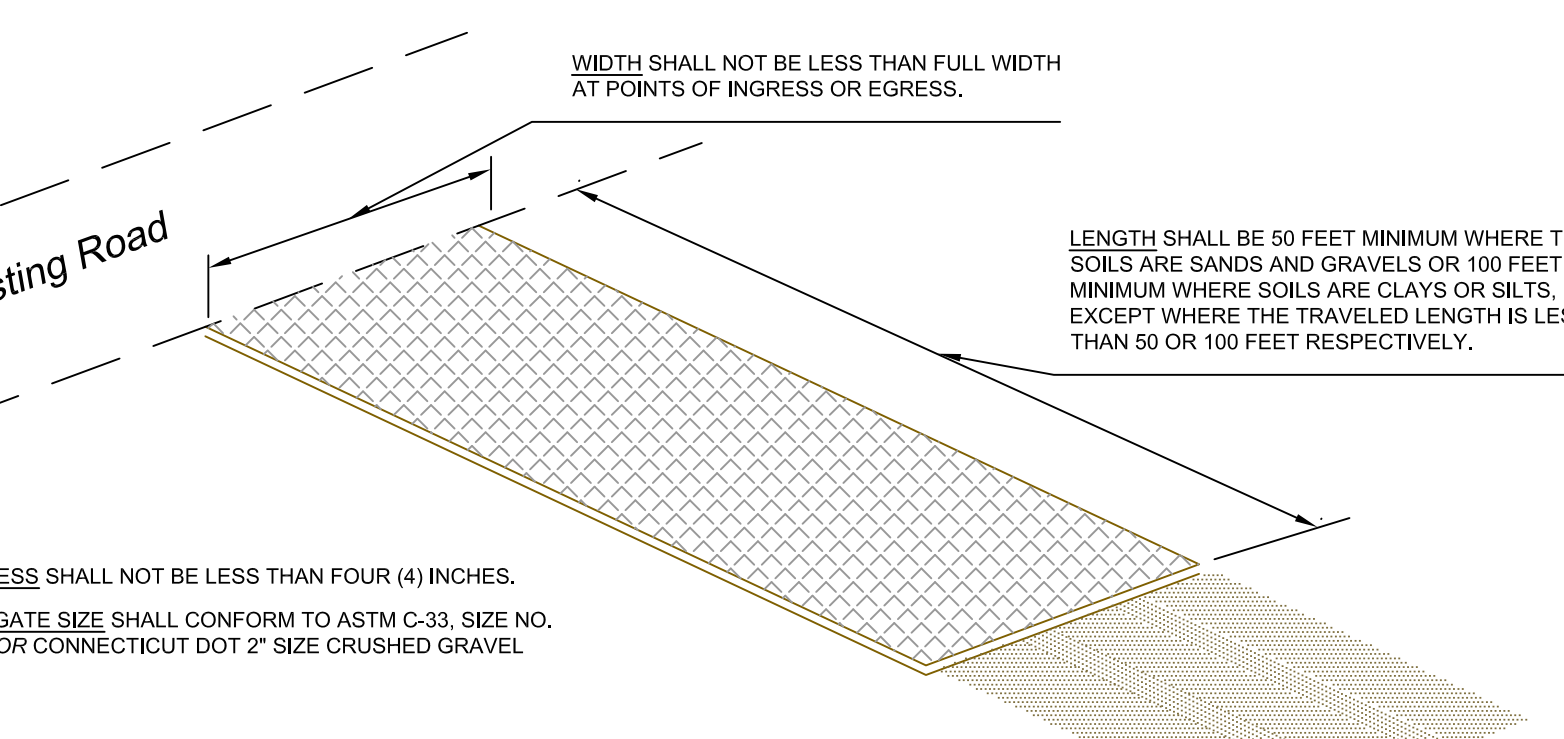
- INSTALL EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLAN PRIOR TO CONSTRUCTION ACTIVITY. (1 WEEK) CONTACT TOWN OF WASHINGTON WETLANDS ENFORCEMENT OFFICER FOR REVIEW OF INSTALLED EROSION CONTROLS. ALLOW 48 HOURS NOTICE.
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AFTER 1/4" RAIN EVENTS OR LARGER. REPAIR OR REPLACE EROSION CONTROLS AS NECESSARY (DURATION OF PROJECT).**



TYPICAL PLACEMENT OF FILTER FABRIC OR HAYBALES IN DRAINAGEWAY ON SLOPING ROADS OR DRAINAGEWAY
N.T.S.

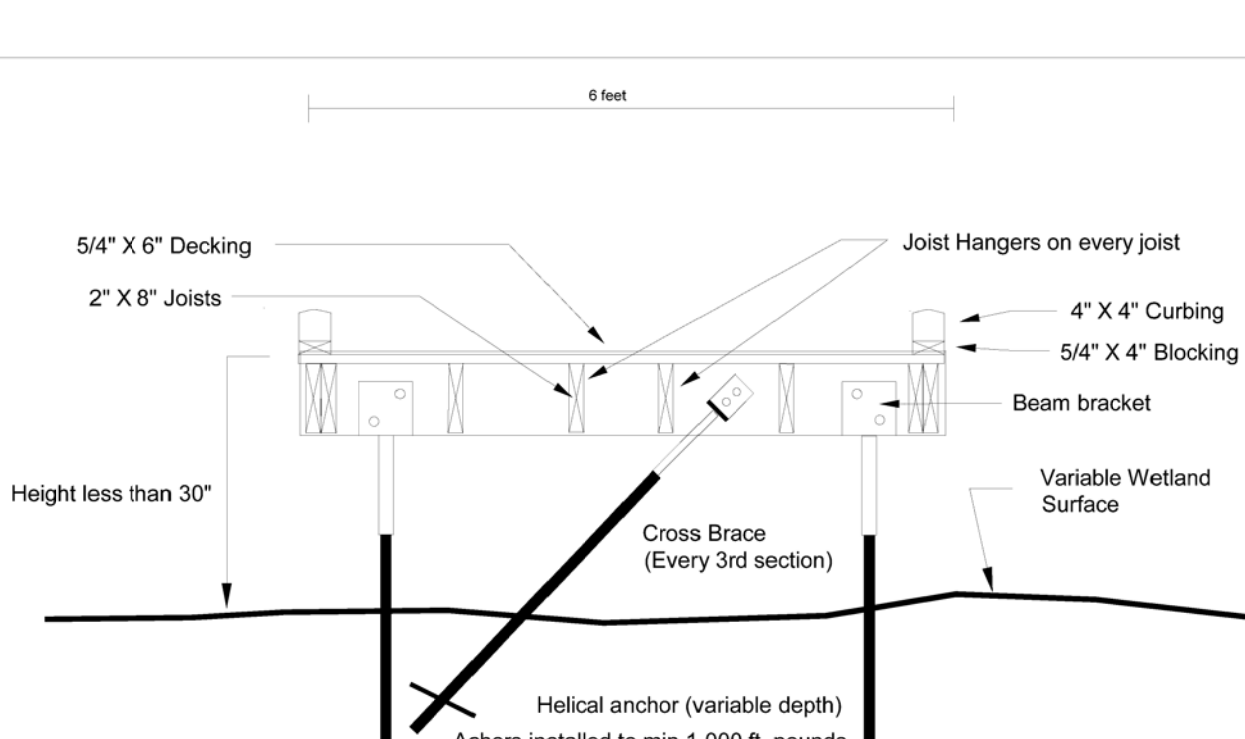


TYPICAL EROSION AND SEDIMENTATION CONTROL PLAN FOR INDIVIDUAL HOUSE CONSTRUCTION
N.T.S.

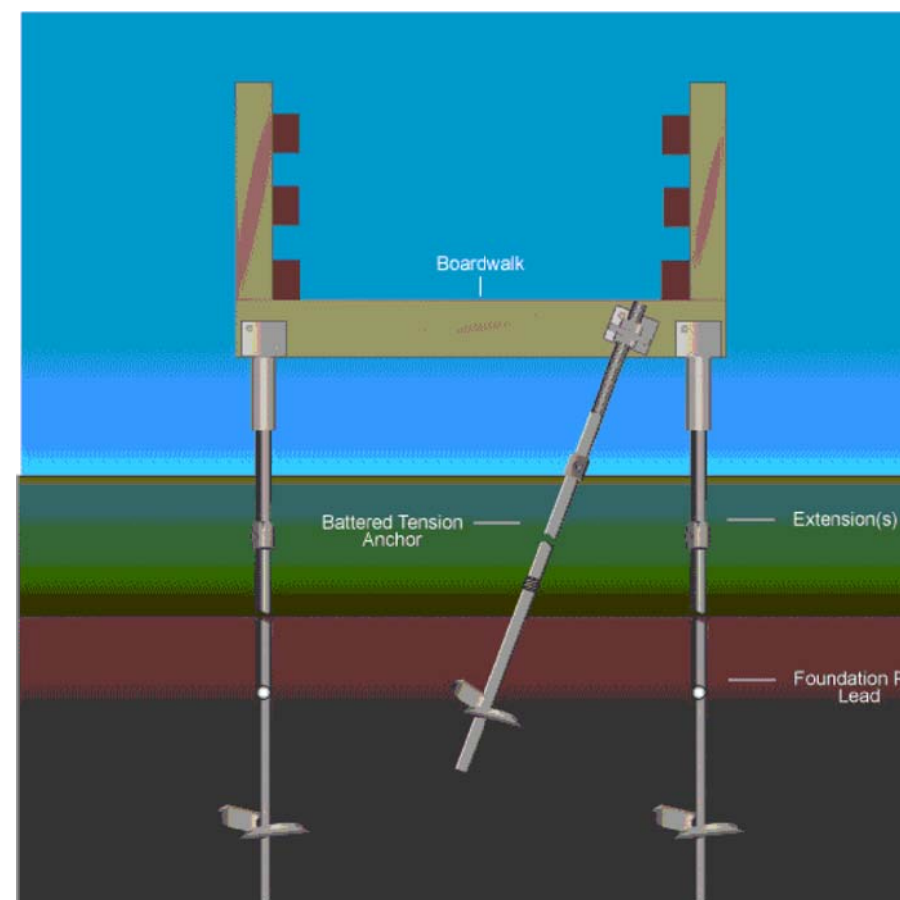


CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
N.T.S.

NOTE: SUBSURFACE DRAINAGE SHOULD BE INSTALLED AT ALL POORLY DRAINED LOCATIONS BEFORE INSTALLING THE STABILIZED ANTI-TRACKING PAD.



Boardwalk Cross Section (Typical)
N.T.S.



TYPICAL HELICAL PIER DETAIL (SUPPORT FOR BOARDWALK THROUGH WETLANDS)
N.T.S.

- COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
- REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/05/2021	PER WETLANDS COMMENTS

ARTHUR H. HOWLAND & ASSOCIATES, P.C.
CIVIL ENGINEERS • LAND SURVEYORS
SOIL SCIENTISTS • LAND PLANNERS
143 WEST STREET, SUITE E.E. NEW MILFORD, CONNECTICUT 06779
PHONE: (860) 350-4418 • WEBSITE: WWW.ARTHURHOWLAND.COM

Proposed Sedimentation & Erosion Control Details

The Premier Trust Inc.

Tax Map 5 Block 10 Lot 20
Area = 402,644 S.F. / 9.243 Ac.
157 Calhoun Street
Town of Washington
County of Litchfield
State of Connecticut

DATE: **October 22, 2021**

SCALE: **N.T.S.**



SHEET:

SES.1