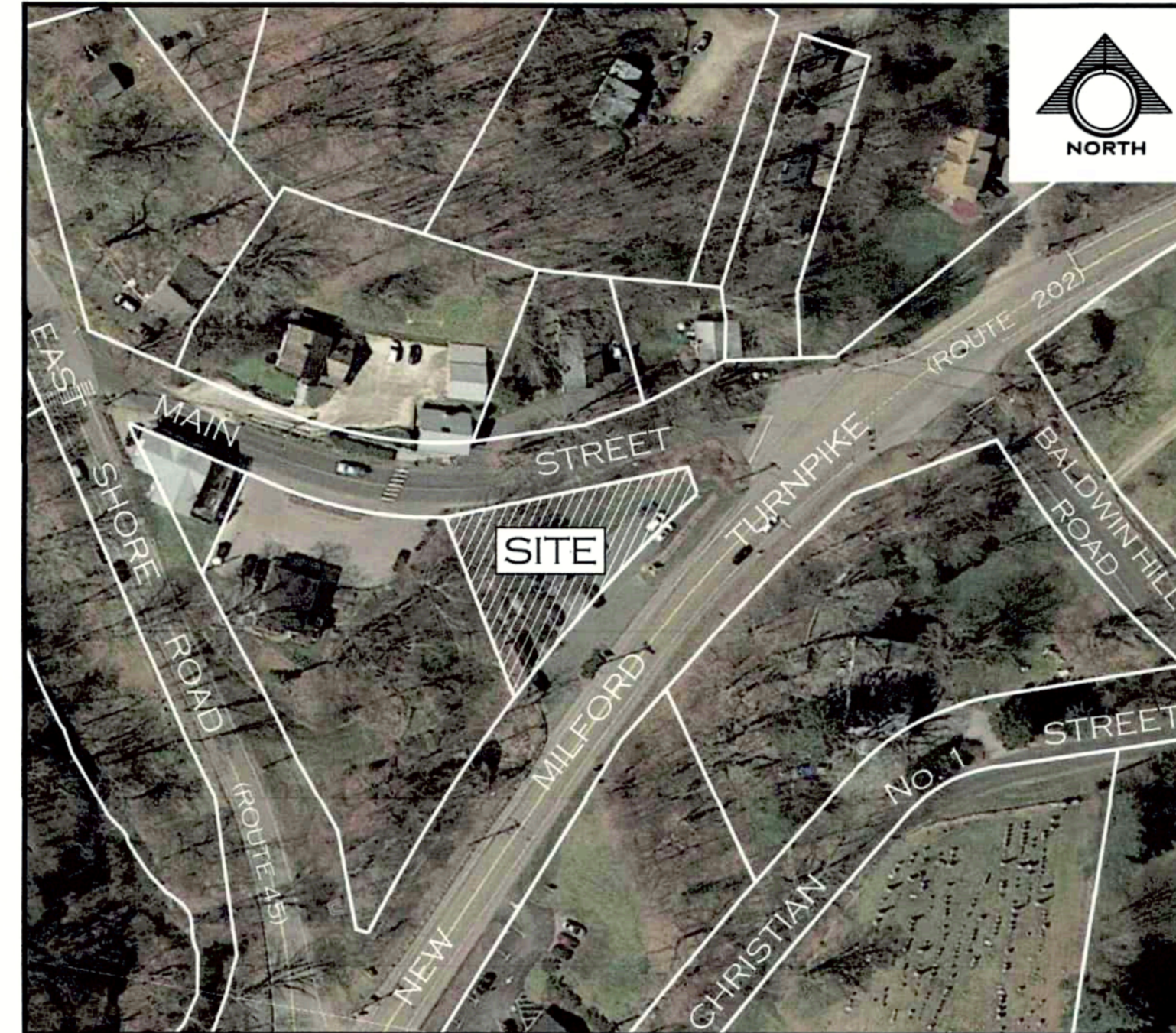


SMF UNIVERSAL, LLC

124 NEW MILFORD TURNPIKE

WASHINGTON, CONNECTICUT



LOCATION MAP
SCALE: 1" = 100'

INDEX OF SHEETS

DESCRIPTION OF SHEETS

- 1.....COVER SHEET
- 2.....PROPERTY & TOPOGRAPHICAL MAP
(PREPARED BY NEW ENGLAND LAND SURVEYING)
- 3.....SITE PLAN
- 4.....GRADING, UTILITY, AND SEDIMENT AND EROSION CONTROL PLAN
- 5.....PLANTING PLAN
- 6.....SEDIMENT AND EROSION CONTROL NOTES
- 7.....DETAILS
- SL-1B.....PHOTOMETRIC CALCULATION
(PREPARED BY ILLUMINATE)

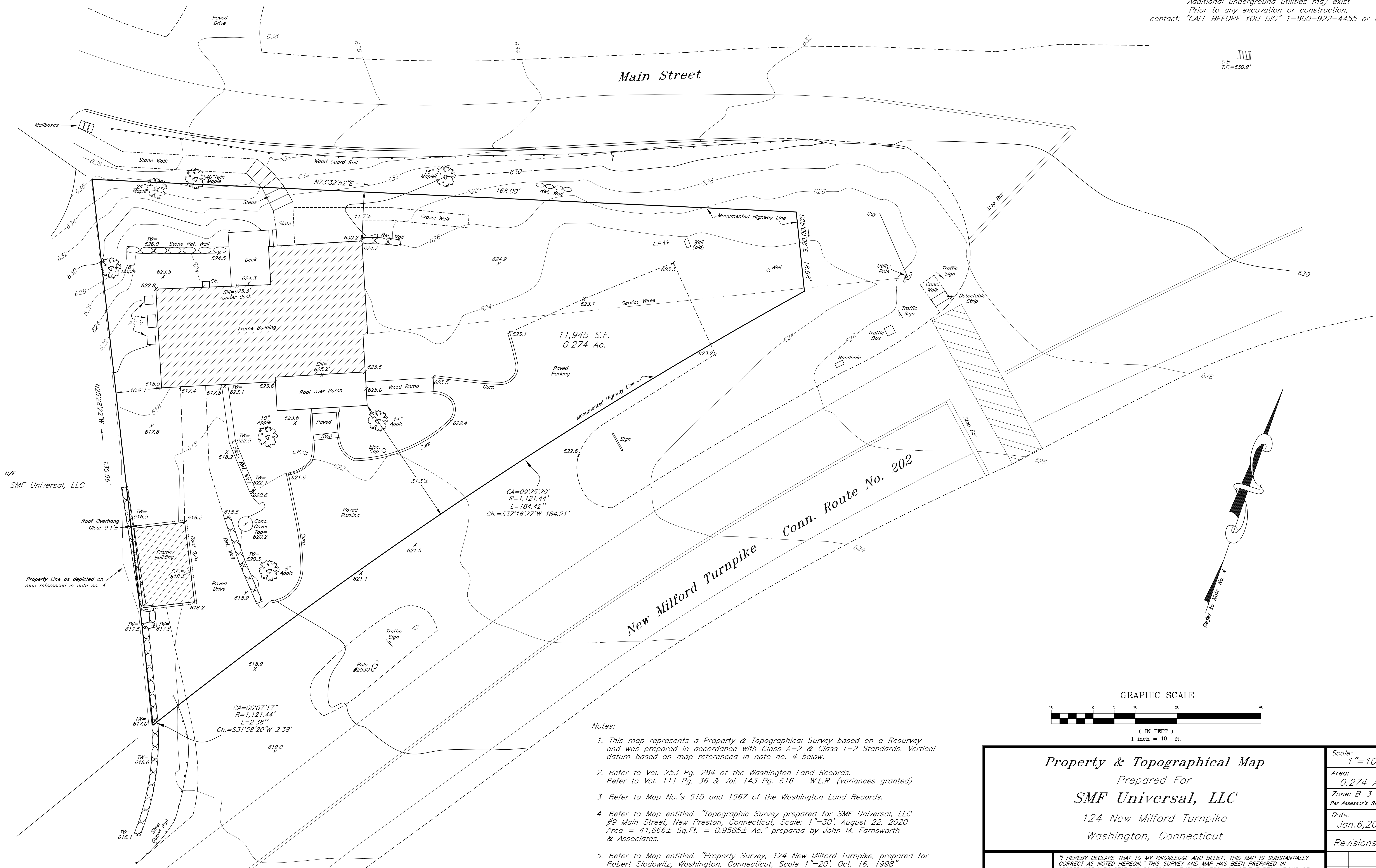
REV.	DATE	COMMENT
4	6/14/22	REVISED PLANTINGS
3	4/17/22	REVISED TO (1) 2-BEDROOM APARTMENT
2	3/9/22	REVISED RAMP AND PAVEMENT AREA
1		ISSUED FOR PERMIT



	ARTEL ENGINEERING GROUP, LLC 304 FEDERAL ROAD - SUITE 308 BROOKFIELD, CONNECTICUT 06804 WWW.ARTELENGINEERING.COM PHONE: (203) 740-2033 FAX: (203) 740-2067	PROJECT MANAGERS SITE PLANNERS PERMIT EXPEDITORS
	• CIVIL ENGINEERS • ENVIRONMENTAL ENGINEERS • MUNICIPAL ENGINEERS	DRAWN BY: BH CHECKED BY: DV DATE: 1/13/22 SCALE: 1" = 10' DRAWING No: DD21050 PROJECT No: DD21050 SHEET: 1
COVER SHEET SMF UNIVERSAL, LLC 124 NEW MILFORD TURNPIKE WASHINGTON, CONNECTICUT		

Important Note:
 Additional underground utilities may exist
 Prior to any excavation or construction,
 contact: "CALL BEFORE YOU DIG" 1-800-922-4455 or 811

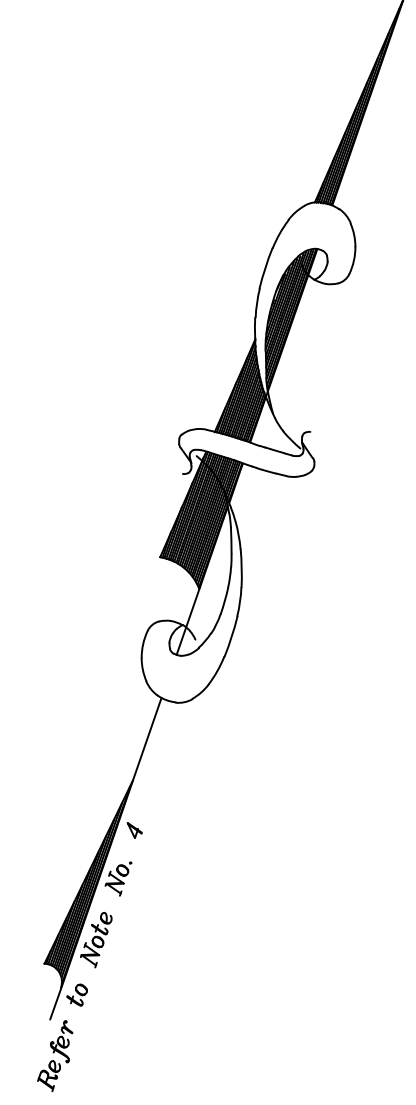
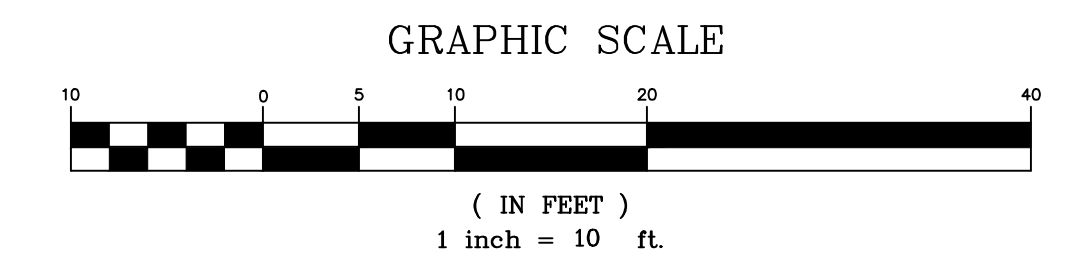
C.B.
 T.F.=630.9'



N/F
 SMF Universal, LLC

Property Line as depicted on map referenced in note no. 4

- Notes:
- This map represents a Property & Topographical Survey based on a Resurvey and was prepared in accordance with Class A-2 & Class T-2 Standards. Vertical datum based on map referenced in note no. 4 below.
 - Refer to Vol. 253 Pg. 284 of the Washington Land Records. Refer to Vol. 111 Pg. 36 & Vol. 143 Pg. 616 - W.L.R. (variances granted).
 - Refer to Map No.'s 515 and 1567 of the Washington Land Records.
 - Refer to Map entitled: "Topographic Survey prepared for SMF Universal, LLC #9 Main Street, New Preston, Connecticut, Scale: 1"=30', August 22, 2020 Area = 41,666± Sq.Ft. = 0.9565± Ac." prepared by John M. Farnsworth & Associates.
 - Refer to Map entitled: "Property Survey, 124 New Milford Turnpike, prepared for Robert Slodowitz, Washington, Connecticut, Scale 1"=20', Oct. 16, 1998" prepared by Richard W. Dibble, LLS #8158.
 - Refer to Connecticut State Highway Department Right of Way Map, Town of Washington, New Milford - Litchfield Road from the New Milford Town Line Easterly to Flirtation Ave., Route No. 25, Scale: 1"=40', Dated Dec. 28, 1934 Revised Jan. 21, 1966, Number 150-04, Sheet No. 5 of 6.

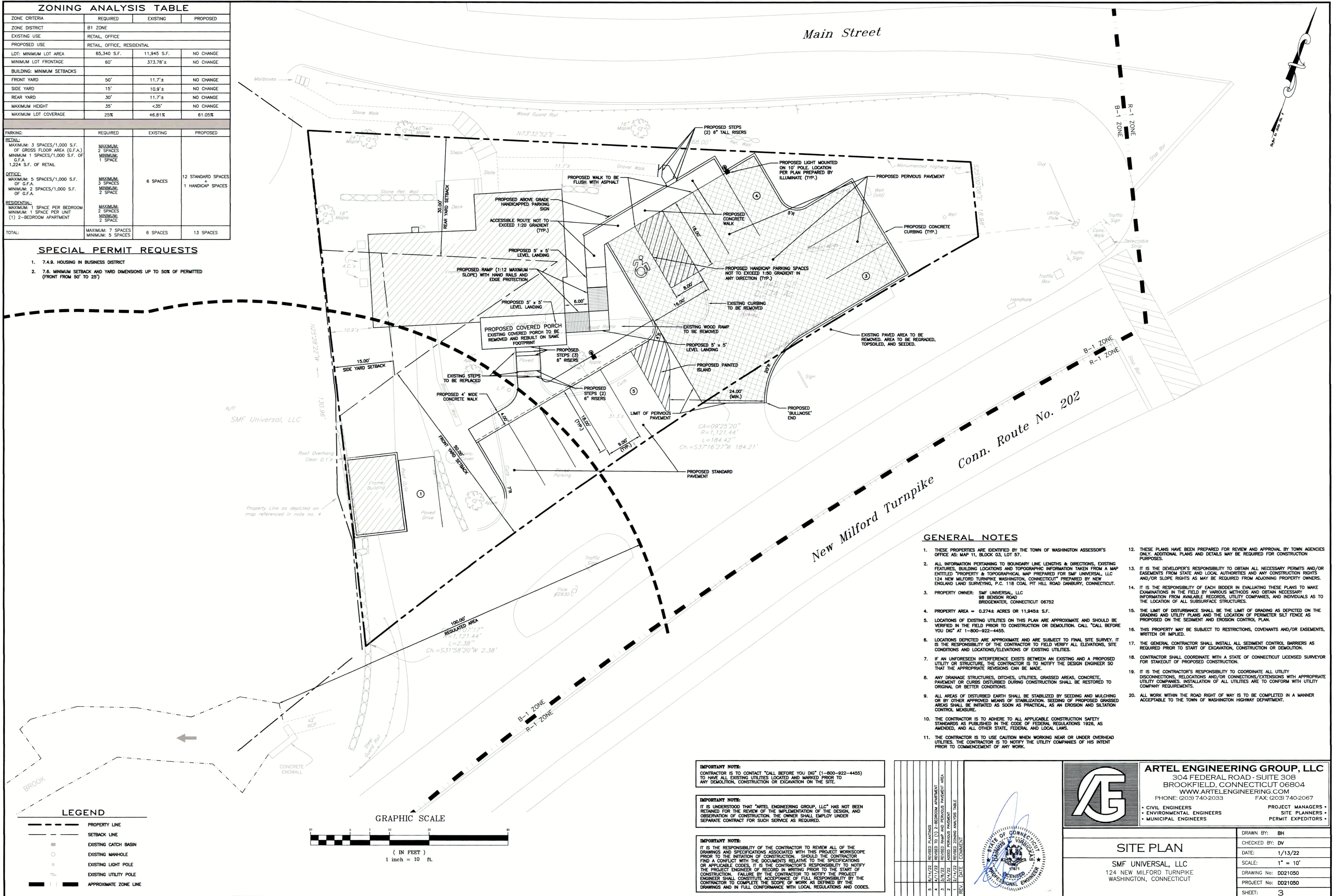


Property & Topographical Map Prepared For SMF Universal, LLC 124 New Milford Turnpike Washington, Connecticut		Scale: 1"=10' Area: 0.274 Ac. Zone: B-3 Per Assessor's Records Date: Jan. 6, 2022 Revisions
NOT VALID WITHOUT A LINE SIGNATURE AND EMBOSSED SEAL		I HEREBY DECLARE THAT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. NEW ENGLAND LAND SURVEYING, P.C. ROBIN COMMONS-118 COAL PIT HILL RD.-DANBURY, CT. 203-790-5597 nelandsurv@aol.com MATTHEW E. REYNOLDS, L.S. # 13286
		Job No. 1420 1420sv1

ZONING ANALYSIS TABLE			
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONE DISTRICT	B1 ZONE		
EXISTING USE	RETAIL, OFFICE		
PROPOSED USE	RETAIL, OFFICE, RESIDENTIAL		
LOT: MINIMUM LOT AREA	65,340 S.F.	11,945 S.F.	NO CHANGE
MINIMUM LOT FRONTAGE	60'	373.78'±	NO CHANGE
BUILDING: MINIMUM SETBACKS			
FRONT YARD	50'	11.7'±	NO CHANGE
SIDE YARD	15'	10.9'±	NO CHANGE
REAR YARD	30'	11.7'±	NO CHANGE
MAXIMUM HEIGHT	35'	<35'	NO CHANGE
MAXIMUM LOT COVERAGE	25%	46.81%	61.05%
PARKING:			
	REQUIRED	EXISTING	PROPOSED
RETAIL: MAXIMUM: 3 SPACES/1,000 S.F. OF GROSS FLOOR AREA (G.F.A.) MINIMUM: 1 SPACE/1,000 S.F. OF G.F.A. 1,224 S.F. OF RETAIL	MAXIMUM: 2 SPACES MINIMUM: 1 SPACE		
OFFICE: MAXIMUM: 5 SPACES/1,000 S.F. OF G.F.A. MINIMUM: 2 SPACES/1,000 S.F. OF G.F.A.	MAXIMUM: 3 SPACES MINIMUM: 2 SPACES	6 SPACES	12 STANDARD SPACES 1 HANDICAP SPACES
RESIDENTIAL: MAXIMUM: 1 SPACE PER BEDROOM MINIMUM: 1 SPACE PER UNIT (1) 2-BEDROOM APARTMENT	MAXIMUM: 2 SPACES MINIMUM: 2 SPACES		
TOTAL:	MAXIMUM: 7 SPACES MINIMUM: 5 SPACES	6 SPACES	13 SPACES

SPECIAL PERMIT REQUESTS

- 7.4.9. HOUSING IN BUSINESS DISTRICT
- 7.6. MINIMUM SETBACK AND YARD DIMENSIONS UP TO 50% OF PERMITTED (FRONT FROM 50' TO 25')



GENERAL NOTES


- THESE PROPERTIES ARE IDENTIFIED BY THE TOWN OF WASHINGTON ASSESSOR'S OFFICE AS: MAP 11, BLOCK 03, LOT 57.
- ALL INFORMATION PERTAINING TO BOUNDARY LINE LENGTHS & DIRECTIONS, EXISTING FEATURES, BUILDING LOCATIONS AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "PROPERTY & TOPOGRAPHICAL MAP PREPARED FOR SMF UNIVERSAL, LLC 124 NEW MILFORD TURNPIKE, WASHINGTON, CONNECTICUT" PREPARED BY NEW ENGLAND LAND SURVEYING, P.C. 118 COAL PIT HILL ROAD DANBURY, CONNECTICUT.
- PROPERTY OWNER: SMF UNIVERSAL, LLC 69 BENSON ROAD BRIDGEWATER, CONNECTICUT 06752
- PROPERTY AREA = 0.274± ACRES OR 11,945± S.F.
- LOCATIONS OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION OR DEMOLITION. CALL "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- LOCATIONS DEPICTED ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS, SITE CONDITIONS AND LOCATIONS/ELEVATIONS OF EXISTING UTILITIES.
- IF AN UNFORESEEN INTERFERENCE EXISTS BETWEEN AN EXISTING AND A PROPOSED UTILITY OR STRUCTURE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER SO THAT THE APPROPRIATE REVISIONS CAN BE MADE.
- ANY DRAINAGE STRUCTURES, DITCHES, UTILITIES, GRASSED AREAS, CONCRETE PAVEMENT OR CURBS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
- ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY SEEDING AND MULCHING OR BY OTHER APPROVED MEANS OF STABILIZATION. SEEDING OF PROPOSED GRASSED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL, AS AN EROSION AND SILTATION CONTROL MEASURE.
- THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE CONSTRUCTION SAFETY STANDARDS AS PUBLISHED IN THE CODE OF FEDERAL REGULATIONS 1928, AS AMENDED, AND ALL OTHER STATE, FEDERAL AND LOCAL LAWS.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING NEAR OR UNDER OVERHEAD UTILITIES. THE CONTRACTOR IS TO NOTIFY THE UTILITY COMPANIES OF HIS INTENT PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS HAVE BEEN PREPARED FOR REVIEW AND APPROVAL BY TOWN AGENCIES ONLY. ADDITIONAL PLANS AND DETAILS MAY BE REQUIRED FOR CONSTRUCTION PURPOSES.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM STATE AND LOCAL AUTHORITIES AND ANY CONSTRUCTION RIGHTS AND/OR SLOPE RIGHTS AS MAY BE REQUIRED FROM ADJOINING PROPERTY OWNERS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY COMPANIES, AND INDIVIDUALS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE LIMIT OF DISTURBANCE SHALL BE THE LIMIT OF GRADING AS DEPICTED ON THE GRADING AND UTILITY PLANS AND THE LOCATION OF PERMETER SILT FENCE AS PROPOSED ON THE SEDIMENT AND EROSION CONTROL PLAN.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE GENERAL CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL BARRIERS AS REQUIRED PRIOR TO START OF EXCAVATION, CONSTRUCTION OR DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH A STATE OF CONNECTICUT LICENSED SURVEYOR FOR STAKEOUT OF PROPOSED CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY DISCONNECTIONS, RELOCATIONS AND/OR CONNECTIONS/EXTENSIONS WITH APPROPRIATE UTILITY COMPANIES. INSTALLATION OF ALL UTILITIES ARE TO CONFORM WITH UTILITY COMPANY REQUIREMENTS.
- ALL WORK WITHIN THE ROAD RIGHT OF WAY IS TO BE COMPLETED IN A MANNER ACCEPTABLE TO THE TOWN OF WASHINGTON HIGHWAY DEPARTMENT.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:
IT IS UNDERSTOOD THAT "ARTEL ENGINEERING GROUP, LLC" HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

REV.	DATE	COMMENT
1	06/17/22	REVISED PLANNING
2	06/17/22	REVISED PLANNING
3	06/17/22	REVISED PLANNING
4	06/17/22	REVISED PLANNING
5	06/17/22	REVISED PLANNING
6	06/17/22	REVISED PLANNING
7	06/17/22	REVISED PLANNING
8	06/17/22	REVISED PLANNING
9	06/17/22	REVISED PLANNING
10	06/17/22	REVISED PLANNING
11	06/17/22	REVISED PLANNING
12	06/17/22	REVISED PLANNING
13	06/17/22	REVISED PLANNING
14	06/17/22	REVISED PLANNING
15	06/17/22	REVISED PLANNING
16	06/17/22	REVISED PLANNING
17	06/17/22	REVISED PLANNING
18	06/17/22	REVISED PLANNING
19	06/17/22	REVISED PLANNING
20	06/17/22	REVISED PLANNING



ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
BROOKFIELD, CONNECTICUT 06804
WWW.ARTELENGINEERING.COM
PHONE: (203) 740-2033 FAX: (203) 740-2067

• CIVIL ENGINEERS
• ENVIRONMENTAL ENGINEERS
• MUNICIPAL ENGINEERS

PROJECT MANAGERS •
SITE PLANNERS •
PERMIT EXPEDITORS •

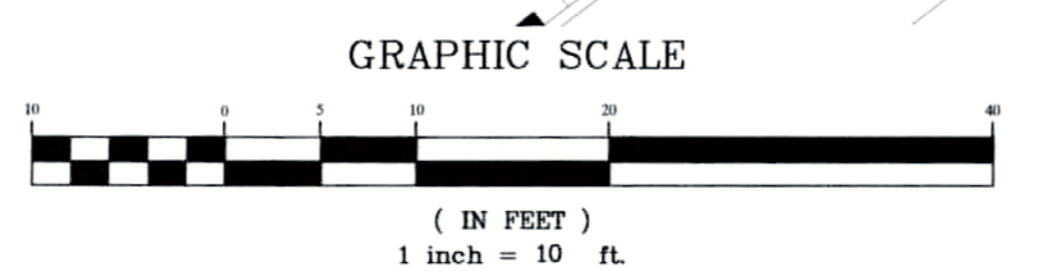
SITE PLAN

SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: 1" = 10'
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 3

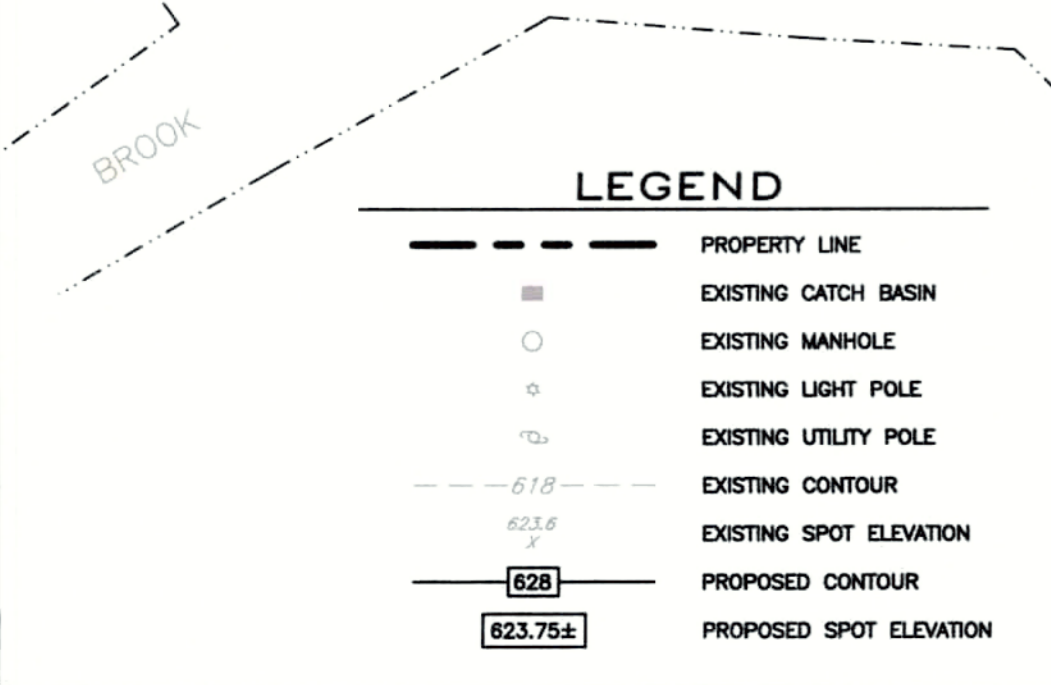
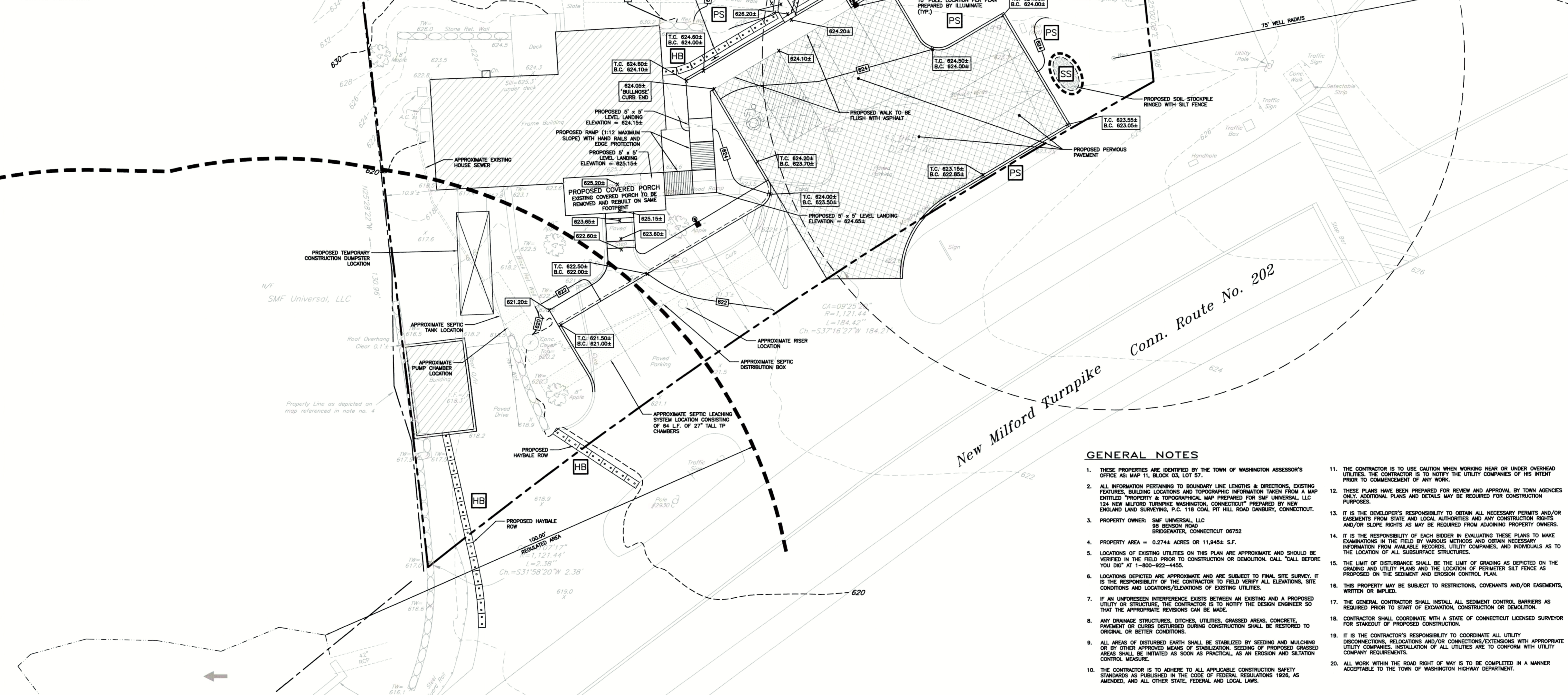
LEGEND

	PROPERTY LINE
	SETBACK LINE
	EXISTING CATCH BASIN
	EXISTING MANHOLE
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	APPROXIMATE ZONE LINE

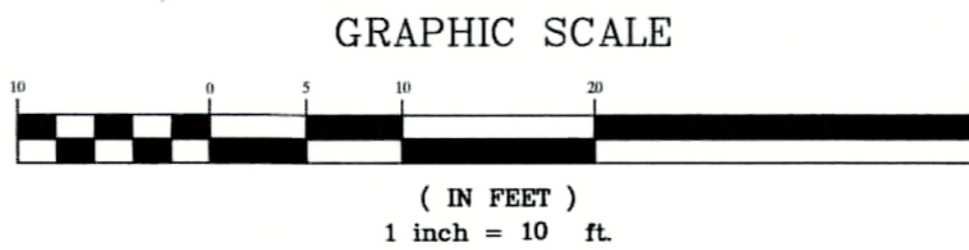
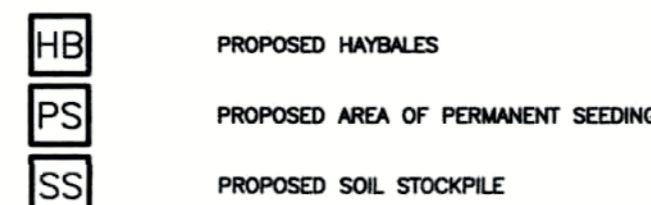


GRADING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL GUTTERS TO PREVENT FLOODING. ANY DISCREPANCIES SHALL BE IMMEDIATELY PROVIDED IN WRITING TO THE ENGINEER OF RECORD.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER OF RECORD. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED, LICENSED, SOILS ENGINEER, CERTIFYING THAT THE SUBBASE WITHIN THE AREAS TO BE BUILT UPON AND/OR PAVED HAS BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.



EROSION CONTROL LEGEND



GENERAL NOTES

- THESE PROPERTIES ARE IDENTIFIED BY THE TOWN OF WASHINGTON ASSESSOR'S OFFICE AS: MAP 11, BLOCK 03, LOT 57.
- ALL INFORMATION PERTAINING TO BOUNDARY LINE LENGTHS & DIRECTIONS, EXISTING FEATURES, BUILDING LOCATIONS AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "PROPERTY & TOPOGRAPHICAL MAP PREPARED FOR SMF UNIVERSAL, LLC 124 NEW MILFORD TURNPIKE, WASHINGTON, CONNECTICUT" PREPARED BY NEW ENGLAND LAND SURVEYING, P.C. 118 COAL HILL ROAD DANBURY, CONNECTICUT.
- PROPERTY OWNER: SMF UNIVERSAL, LLC
98 BENSON ROAD
BRIDGEWATER, CONNECTICUT 06752
- PROPERTY AREA = 0.274± ACRES OR 11,945± S.F.
- LOCATIONS OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION OR DEMOLITION. CALL "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- LOCATIONS DEPICTED ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS, SITE CONDITIONS AND LOCATIONS/ELEVATIONS OF EXISTING UTILITIES.
- IF AN UNFORSEEN INTERFERENCE EXISTS BETWEEN AN EXISTING AND A PROPOSED UTILITY OR STRUCTURE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER SO THAT THE APPROPRIATE REVISIONS CAN BE MADE.
- ANY DRAINAGE STRUCTURES, DITCHES, UTILITIES, GRASSED AREAS, CONCRETE, PAVEMENT OR CURBS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL, OR BETTER CONDITIONS.
- ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY SEEDING AND MULCHING OR BY OTHER APPROVED MEANS OF STABILIZATION. SEEDING OF PROPOSED GRASSED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL, AS AN EROSION AND SILTATION CONTROL MEASURE.
- THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE CONSTRUCTION SAFETY STANDARDS AS PUBLISHED IN THE CODE OF FEDERAL REGULATIONS 1926, AS AMENDED, AND ALL OTHER STATE, FEDERAL AND LOCAL LAWS.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING NEAR OR UNDER OVERHEAD UTILITIES. THE CONTRACTOR IS TO NOTIFY THE UTILITY COMPANIES OF HIS INTENT PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS HAVE BEEN PREPARED FOR REVIEW AND APPROVAL BY TOWN AGENCIES ONLY. ADDITIONAL PLANS AND DETAILS MAY BE REQUIRED FOR CONSTRUCTION PURPOSES.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM STATE AND LOCAL AUTHORITIES AND ANY CONSTRUCTION RIGHTS AND/OR SLOPE RIGHTS AS MAY BE REQUIRED FROM ADJOINING PROPERTY OWNERS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY COMPANIES, AND INDIVIDUALS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE LIMIT OF DISTURBANCE SHALL BE THE LIMIT OF GRADING AND THE LOCATION OF PERIMETER SILT FENCE AS PROPOSED ON THE SEDIMENT AND EROSION CONTROL PLAN.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE GENERAL CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL BARRIERS AS REQUIRED PRIOR TO START OF EXCAVATION, CONSTRUCTION OR DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH A STATE OF CONNECTICUT LICENSED SURVEYOR FOR STAKEOUT OF PROPOSED CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY DISCONNECTIONS, RELOCATIONS AND/OR CONNECTIONS/EXTENSIONS WITH APPROPRIATE UTILITY COMPANIES. INSTALLATION OF ALL UTILITIES ARE TO CONFORM WITH UTILITY COMPANY REQUIREMENTS.
- ALL WORK WITHIN THE ROAD RIGHT OF WAY IS TO BE COMPLETED IN A MANNER ACCEPTABLE TO THE TOWN OF WASHINGTON HIGHWAY DEPARTMENT.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:
IT IS UNDERSTOOD THAT "ARTEL ENGINEERING GROUP, LLC" HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

NO.	DATE	REVISION	BY	CHKD.
1	1/11/22	REVISED PLANNING		
2	1/11/22	REVISED TO (1) 2-BEDROOM APARTMENT		
3	1/17/22	REVISED PER COMMISSION MEETING		
4	1/19/22	REVISED PER AND FINISHED PARKING AREA		
5	1/27/22	REVISED PER AND FINISHED PARKING AREA		
6	2/7/22	REVISED PER AND FINISHED PARKING AREA		
7	2/7/22	REVISED PER AND FINISHED PARKING AREA		
8	2/7/22	REVISED PER AND FINISHED PARKING AREA		
9	2/7/22	REVISED PER AND FINISHED PARKING AREA		
10	2/7/22	REVISED PER AND FINISHED PARKING AREA		
11	2/7/22	REVISED PER AND FINISHED PARKING AREA		
12	2/7/22	REVISED PER AND FINISHED PARKING AREA		
13	2/7/22	REVISED PER AND FINISHED PARKING AREA		
14	2/7/22	REVISED PER AND FINISHED PARKING AREA		
15	2/7/22	REVISED PER AND FINISHED PARKING AREA		
16	2/7/22	REVISED PER AND FINISHED PARKING AREA		
17	2/7/22	REVISED PER AND FINISHED PARKING AREA		
18	2/7/22	REVISED PER AND FINISHED PARKING AREA		
19	2/7/22	REVISED PER AND FINISHED PARKING AREA		
20	2/7/22	REVISED PER AND FINISHED PARKING AREA		



ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
BROOKFIELD, CONNECTICUT 06804
WWW.ARTELENGINEERING.COM
PHONE: (203) 740-2033 FAX: (203) 740-2067

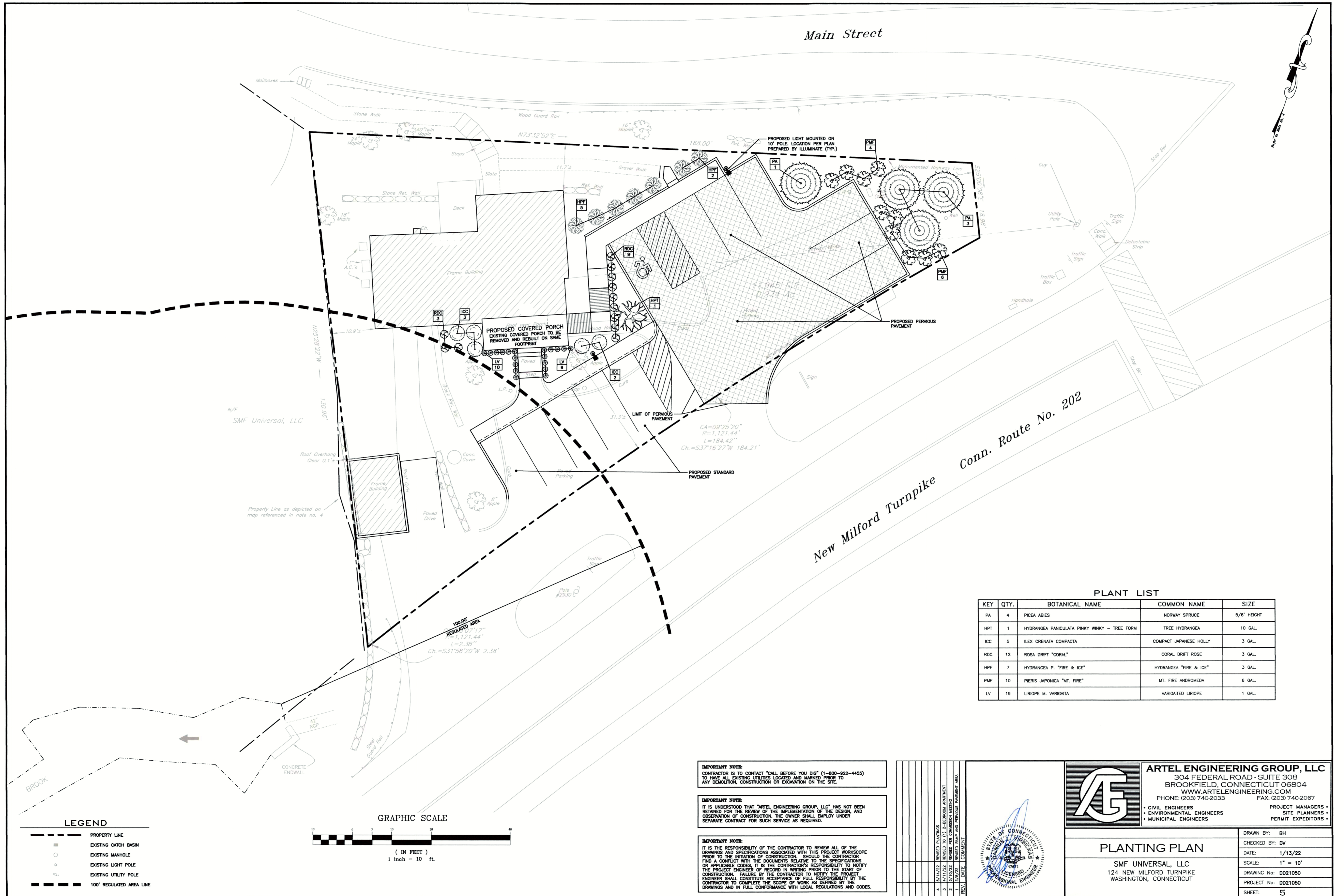
• CIVIL ENGINEERS
• ENVIRONMENTAL ENGINEERS
• MUNICIPAL ENGINEERS

PROJECT MANAGERS
SITE PLANNERS
PERMIT EXPEDITORS

GRADING, UTILITY, AND SEDIMENT AND EROSION CONTROL PLAN

SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: 1" = 10'
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 4



Main Street
New Milford Turnpike
Conn. Route No. 202

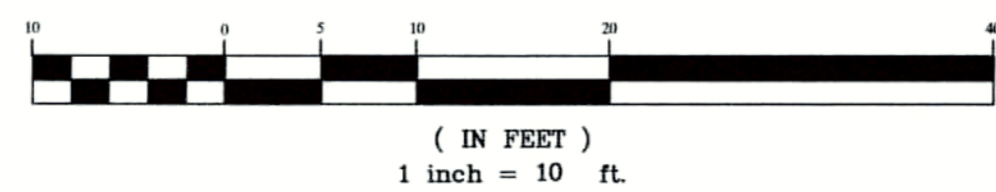
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
PA	4	PICEA ABIES	NORWAY SPRUCE	5/6' HEIGHT
HPT	1	HYDRANGEA PANICULATA PINKY WINKY - TREE FORM	TREE HYDRANGEA	10 GAL.
ICC	5	ILEX CRENATA COMPACTA	COMPACT JAPANESE HOLLY	3 GAL.
RDC	12	ROSA DRIFT "CORAL"	CORAL DRIFT ROSE	3 GAL.
HFF	7	HYDRANGEA P. "FIRE & ICE"	HYDRANGEA "FIRE & ICE"	3 GAL.
PMF	10	PIERIS JAPONICA "MT. FIRE"	MT. FIRE ANDROMEDA	6 GAL.
LV	19	LIRIOPE M. VARIGATA	VARGAITED LIRIOPE	1 GAL.

LEGEND

- PROPERTY LINE
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- 100' REGULATED AREA LINE

GRAPHIC SCALE



IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:
IT IS UNDERSTOOD THAT "ARTEL ENGINEERING GROUP, LLC" HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

REV.	DATE	COMMENT
4	6/11/22	REVISED PLANTINGS
3	6/11/22	REVISED TO (1) 2-BEDROOM APARTMENT
2	6/11/22	REVISED TO (1) 2-BEDROOM APARTMENT
1	6/11/22	REVISED RAMP AND PERVIOUS PAVEMENT AREA



ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
BROOKFIELD, CONNECTICUT 06804
WWW.ARTELENGINEERING.COM
PHONE: (203) 740-2033 FAX: (203) 740-2067

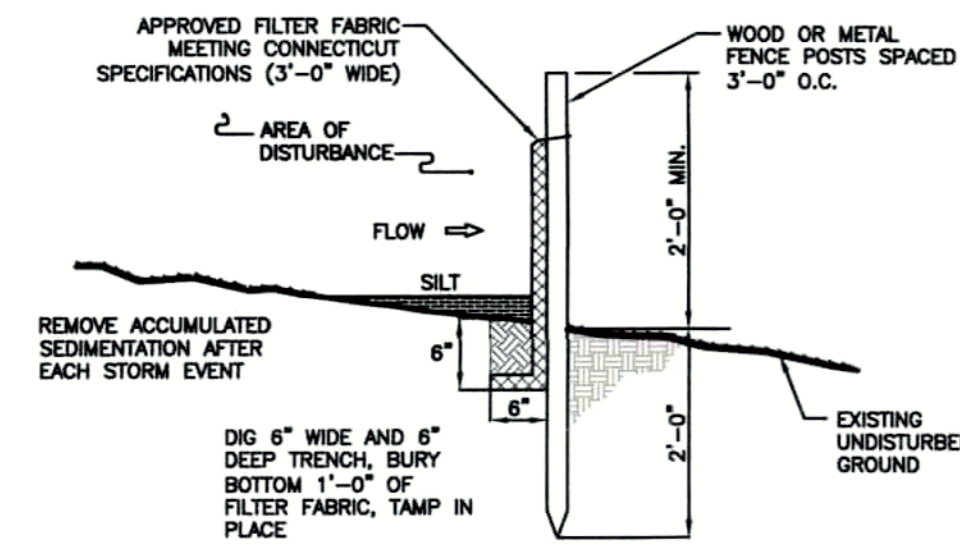
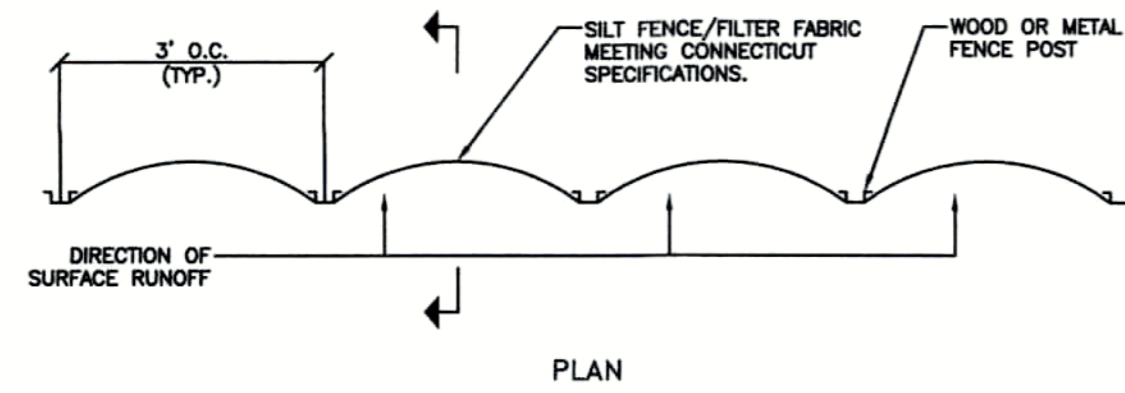
- CIVIL ENGINEERS
- ENVIRONMENTAL ENGINEERS
- MUNICIPAL ENGINEERS

PROJECT MANAGERS •
SITE PLANNERS •
PERMIT EXPEDITORS •

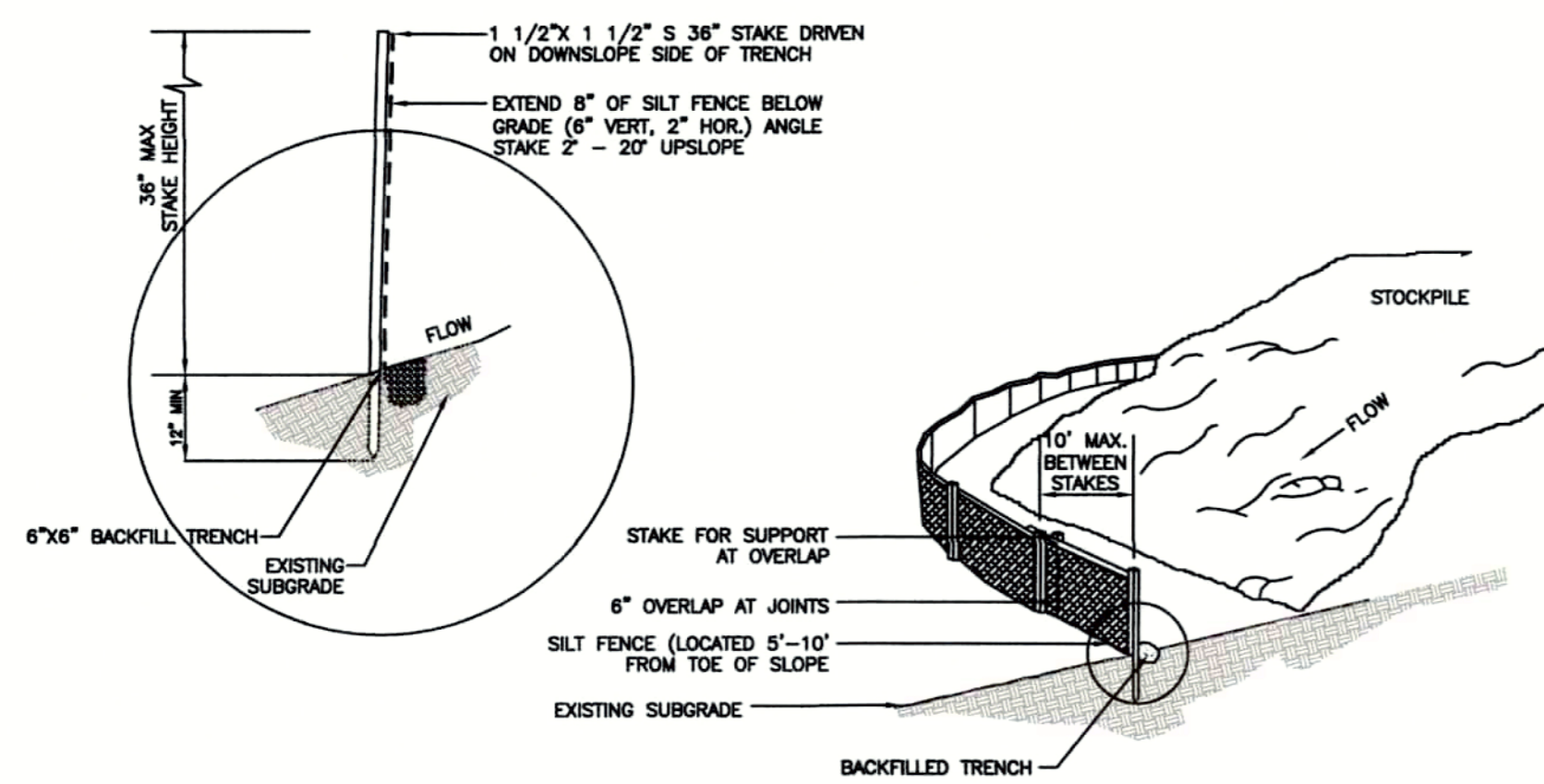
PLANTING PLAN

SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: 1" = 10'
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 5

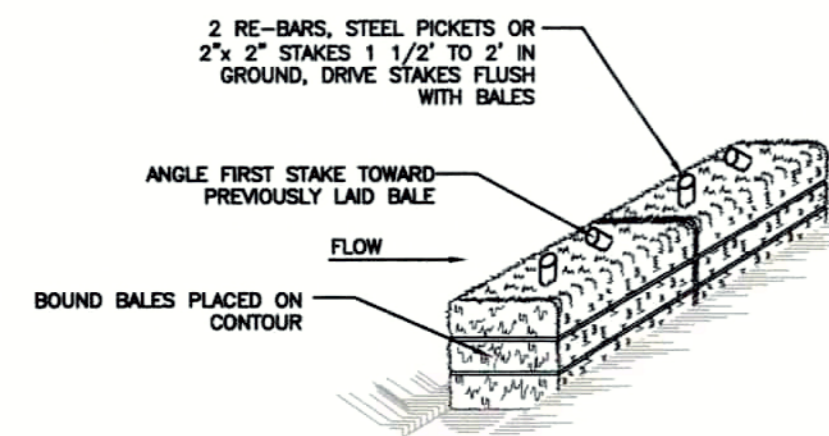


**SECTION
SILT FENCE**
NOT TO SCALE



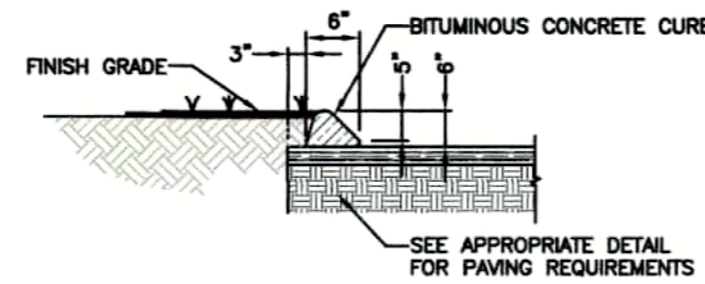
SOIL STOCKPILE DETAIL
NOT TO SCALE

DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FEET OF HAY BALES (FOR SLOPES LESS THAN 25%)



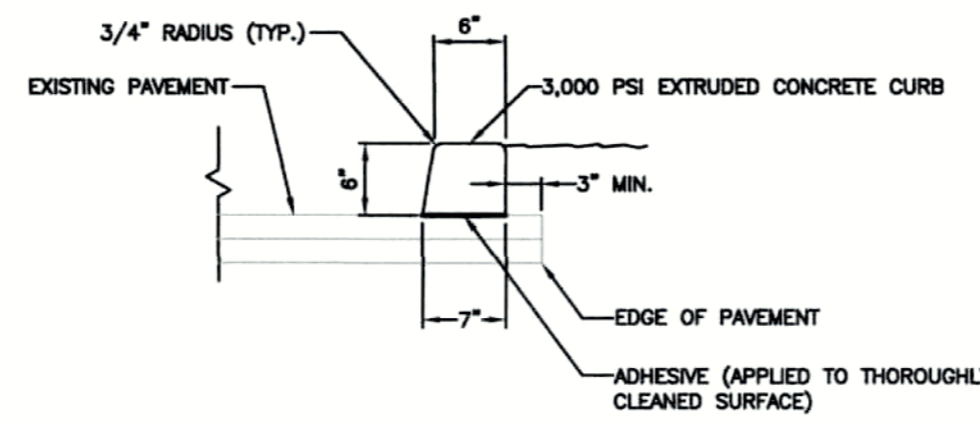
- NOTES:**
- BALES SHALL BE PLACED AT THE TOE OF FILL SLOPE ALONG THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPT (WHEN NEEDED).
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS.

HAY BALE
NOT TO SCALE



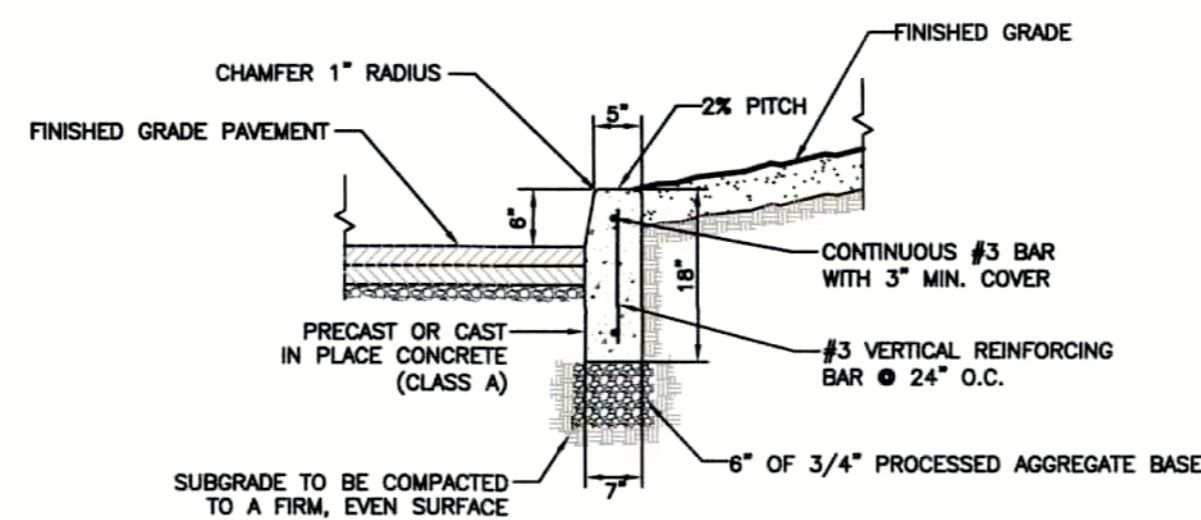
NOTES:
BITUMINOUS CURBING SHALL CONFORM TO STATE OF CT. D.O.T. SPECIFICATIONS.
BITUMINOUS CURBING TO BE INSTALLED ONLY WHERE PERMITTED (NOT TO BE USED ON LANDSCAPED ISLANDS)

BITUMINOUS CONCRETE CURB
NOT TO SCALE



EXTRUDED CONCRETE CURB
NOT TO SCALE

NOTES:
EXTRUDED CURBING IS AN ACCEPTABLE ALTERNATE TO PRECAST OR POUR IN PLACE CURBING (ON SITE ONLY). NOT TO BE USED ON GRAVEL SURFACES. CONCRETE TO BE PRODUCED IN ACCORDANCE WITH ASTM C94 OR ASTM C865 AS APPLICABLE.

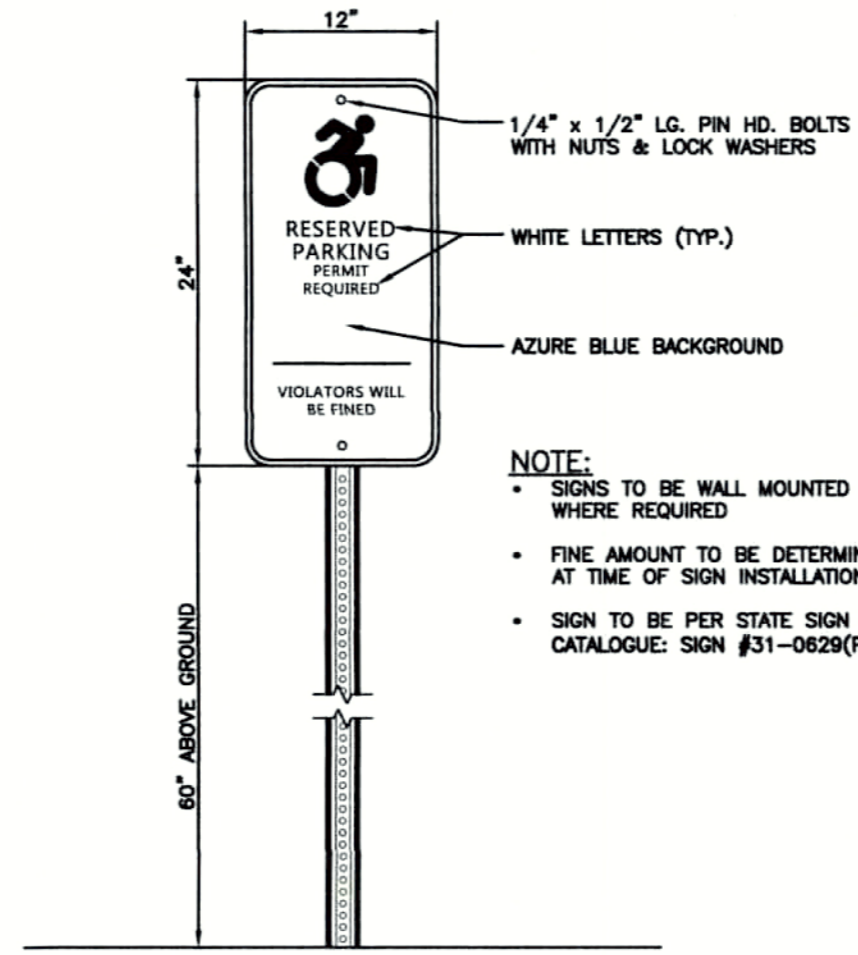


CONCRETE CURBING DETAIL
NOT TO SCALE

NOTES:
CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 P.S.I @ 28 DAYS MODIFIED DOT CLASS "C" CONFORM TO ACI-301 & ACI 318-99.

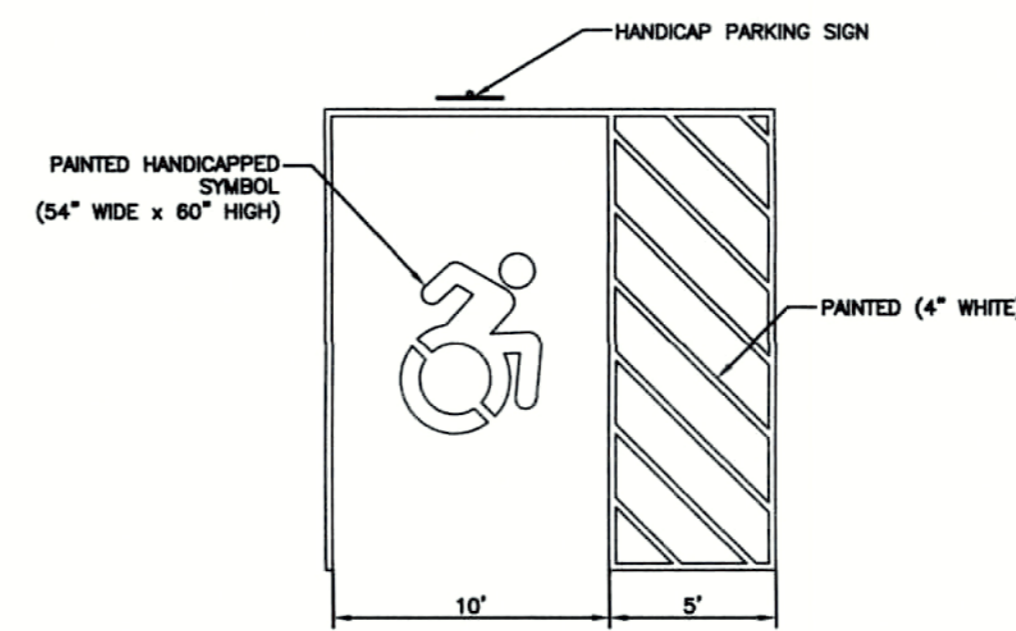
PLACE 1/4" PREMOLDED EXPANSION JOINTS EVERY 20 FT. PLACE EXPANSION JOINT FILLER MATERIAL THE FULL DEPTH OF CONCRETE RECESSED AT 1/4" FROM THE TOP OF THE CONCRETE.

FILLER MATERIAL SHALL BE PREFORMED, NON EXTRUDING, BITUMINOUS TYPE CONFORMING TO A.S.T.M. D1751.
*CONCRETE CURBING IS REQUIRED FOR LANDSCAPED ISLANDS. EXTRUDED CONCRETE CURBING IS AN ACCEPTABLE ALTERNATE TO FULL DEPTH CURBING.

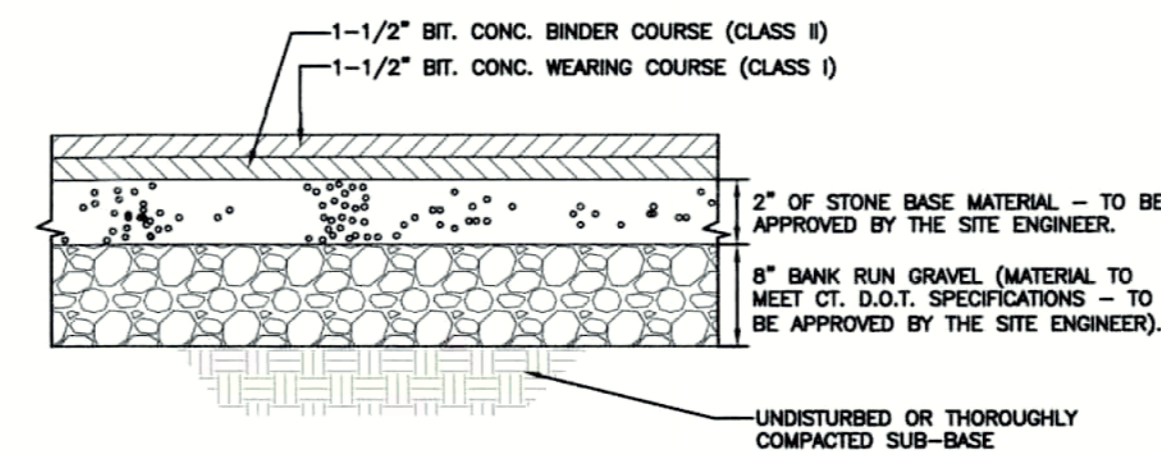


HANDICAP PARKING SIGN
NOT TO SCALE

- NOTE:**
- SIGNS TO BE WALL MOUNTED WHERE REQUIRED
 - FINE AMOUNT TO BE DETERMINED AT TIME OF SIGN INSTALLATION
 - SIGN TO BE PER STATE SIGN CATALOGUE: SIGN #31-0829(P)

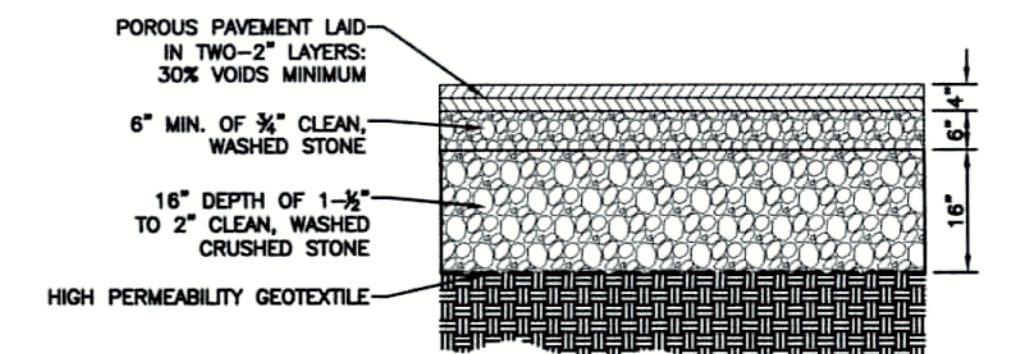


TYPICAL HANDICAP PARKING AND STRIPING DETAIL
NOT TO SCALE



STANDARD DUTY BITUMINOUS PAVEMENT
NOT TO SCALE

NOTES:
TO BE PLACED IN PARKING AREAS FOR PASSENGER VEHICLES AND OTHER AREAS WHERE FREQUENT TRUCK TRAFFIC IS NOT ANTICIPATED
BASE MATERIAL SHALL CONFORM TO CONNECTICUT D.O.T. SPECIFICATION M.02.05 GRADATION B. AND APPROVED BY THE ENGINEER PRIOR TO PLACEMENT.
SUBGRADE TO BE MOISTURE CONDITIONED AND PROFFROLLED PRIOR TO PLACEMENT OF FILL AND/OR PAVEMENT.
PAVEMENT MATERIAL TO CONFORM TO CONNECTICUT D.O.T. SPECIFICATION M.04.03
PROCESSED AGGREGATE BASE SHALL CONFORM TO CONNECTICUT D.O.T. SPECIFICATION M.05.01



PERMEABLE ASPHALT PAVEMENT DETAIL
NOT TO SCALE

EROSION AND SEDIMENTATION NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO PRE-CONSTRUCTION CLEARING AND GRUBBING AND PRIOR TO CONSTRUCTION.
- HAY BALE FILTERS AND/OR SILT FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP-RAP. ENERGY DISSIPATORS WILL BE PROVIDED FOR THESE AREAS.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2002 CONNECTICUT EROSION AND SEDIMENT CONTROL GUIDELINES.
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICAL.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL SITE STABILIZATION HAS BEEN ACHIEVED.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUESTED, BY THE TOWN OR ENGINEER.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- ALL SILT FENCE OR HAYBALES RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS REMOVED AND REPLACED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. THE CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
- SOIL AND EROSION CONTROLS MUST BE INSPECTED AND APPROVED BY THE TOWN PRIOR TO COMMENCEMENT OF WORK.
- THE LIMITS OF CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF CLEARING SHALL REMAIN TOTALLY UNDISTURBED.
- UNLESS DIRECTED OTHERWISE BY THE TOWN, THE PLANTING SEASON SHALL BE MARCH 15 TO JUNE 15 AND AUGUST 15 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC OR WOODCHIP MULCH AS REQUIRED TO CONTROL EROSION.
- ALL NECESSARY MEASURES WILL BE TAKEN TO ENSURE THAT NO DRAINAGE FROM THE TOWN ROADS ENTERS THE SITE DURING OR AFTER CONSTRUCTION.

MAINTENANCE OF EROSION AND SEDIMENT CONTROLS:

- ALL EROSION AND SEDIMENTATION CONTROLS TO BE CHECKED WEEKLY AND/OR AFTER A RAIN EVENT AND REPAIRS MADE, IF NECESSARY.
- PRIOR TO THE TIME OF ANY FORECASTED RAINFALL, ALL EROSION AND SEDIMENTATION CONTROLS TO BE CHECKED AND NECESSARY REPAIRS MADE.
- ALL SILT IS TO BE REMOVED FROM EROSION CONTROLS AS NECESSARY AND/OR PRIOR TO ANY FORECASTED RAINFALL.
- ALL REMOVED SILT IS TO BE PROPERLY DISPOSED OF IN AN APPROVED DISPOSAL AREA. ANY DISPOSED SILT IS TO BE IMMEDIATELY SEEDED WITH ANNUAL RYE GRASS AND MULCHED.
- AFTER ALL DISTURBED AREAS ARE STABILIZED AND APPROVAL TO REMOVE EROSION AND SEDIMENT CONTROLS HAVE BEEN OBTAINED FROM THE TOWN OR ENGINEER, THE CONTROLS CAN BE REMOVED.
- A FORMAL LOG SHOULD BE KEPT OF ALL EROSION CONTROL INSPECTIONS AND MAINTENANCE, INCLUDING REMOVAL OF ANY TRAPPED SILT. THE LOG SHOULD BE KEPT ON SITE.
- TEMPORARY CONTROLS ARE TO CONSIST OF SEEDING WITH ANNUAL RYE GRASS, HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED IF SEASON WILL NOT PERMIT GRASS TO GERMINATE.
- AFTER COMPLETION OF THIS PROJECT, ALL CATCH BASINS ARE TO BE CLEANED AND THERE AFTER ON A REGULAR BASIS. THE TIME INTERVAL SHOULD NOT EXCEED ONE YEAR.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:
IT IS UNDERSTOOD THAT "ARTEL ENGINEERING GROUP, LLC" HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL PERFORMANCE WITH LOCAL REGULATIONS AND CODES.

REV.	DATE	COMMENT
1	6/14/22	REVISED PLANNING
2	6/17/22	REVISED PER DESIGN WORKING
3	6/17/22	REVISED PER DESIGN WORKING



ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
BROOKFIELD, CONNECTICUT 06804
WWW.ARTELENGINEERING.COM
PHONE: (203) 740-2033 FAX: (203) 740-2067

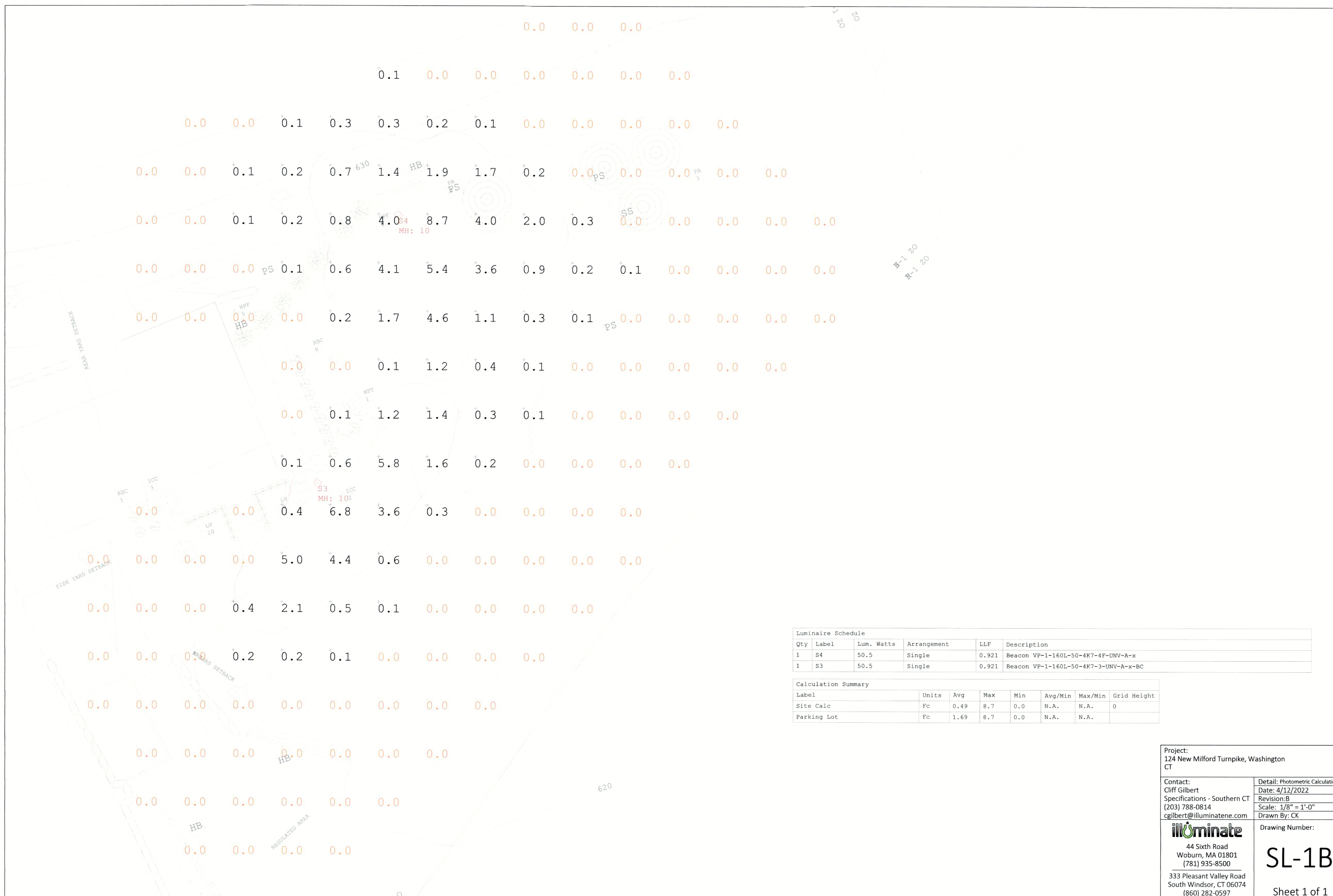
• CIVIL ENGINEERS
• ENVIRONMENTAL ENGINEERS
• MUNICIPAL ENGINEERS

PROJECT MANAGERS
SITE PLANNERS
PERMIT EXPEDITORS

DETAILS

SMF UNIVERSAL, LLC
124 NEW MILFORD TURNPIKE
WASHINGTON, CONNECTICUT

DRAWN BY: BH
CHECKED BY: DV
DATE: 1/13/22
SCALE: AS NOTED
DRAWING No: DD21050
PROJECT No: DD21050
SHEET: 7



Luminaire Schedule					
Qty	Label	Lum. Watts	Arrangement	LLF	Description
1	S4	50.5	Single	0.921	Beacon VP-1-160L-50-4K7-4F-UNV-A-x
1	S3	50.5	Single	0.921	Beacon VP-1-160L-50-4K7-3-UNV-A-x-BC

Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height
Site Calc	Fc	0.49	8.7	0.0	N.A.	N.A.	0
Parking Lot	Fc	1.69	8.7	0.0	N.A.	N.A.	

Project:
124 New Milford Turnpike, Washington
CT

Contact:
Cliff Gilbert
Specifications - Southern CT
(203) 788-0814
cgilbert@illuminate.com

Detail: Photometric Calculation
Date: 4/12/2022
Revision: B
Scale: 1/8" = 1'-0"
Drawn By: CK

Drawing Number:
SL-1B

Sheet 1 of 1

illuminate
44 Sixth Road
Woburn, MA 01801
(781) 935-8500
333 Pleasant Valley Road
South Windsor, CT 06074
(860) 282-0597