

# Town of Washington Zoning Commission

## Special Permit Application

A Special Permit is required for specific uses as listed in the Zoning Regulations for each Zoning district.

Address of Proposed Use: 7-11 WORCESTER RD, WASHINGTON, CT

Name and Mailing Address of Property Owner:

SYLVANA DURRETT, 343 CANTON ST, BROOKLYN NY 11231

Name and contact information for authorized agent (if applicable – attach letter of authorization):

Application is for (Check One):

**New Special Permit - Fee: \$150**

Proposed Use: BARN

Zoning Regulation Section: 17-9

Zoning District: R-1 Historic District: yes no

Attach a written statement with a Description of the Proposed Use. For new buildings include information such as the height and dimensions, for new businesses: type of business, hours of operation, number of employees, square footage of business area, etc. Also attach description of how the proposed use complies with each of the requirements of the specific special permit section listed above.

Attach site plan or survey map showing location of proposed or existing building, location of septic system, distance from each boundary line and from the septic system to the proposed structure, parking spaces, etc.

Attach a floor plan.

**Modification of an existing Special Permit – Fee \$50**

Approved Use: \_\_\_\_\_

Zoning Regulation Section: \_\_\_\_\_

Date of Approval: \_\_\_\_\_

\_\_\_\_\_ Attach a written description of the proposed revision and why it is needed.

# Town of Washington Zoning Commission

## Zoning Permit Application (Not to be used for Special Permits)

ZP - \_\_\_\_\_ - \_\_\_\_\_

1. The undersigned hereby applies for a zoning permit to:

- build new building or structure    add onto a structure    demolish and rebuild a structure    lot line revision  
 install equipment, slab, or patio    move a building    change a building to a different use    erect a sign

2. Subject property address: 7-11 WORCESTER RD, WASHINGTON DEPOT, CT 06794

3. Owner of subject property per deed: SYLVANA DURRETT, ADAM DURRETT

Owner's preferred/best mailing address: 343 CLINTON ST, BROOKLYN, NY 11231

Email: SYLVANA.DURRETT@GMAIL.COM Best Phone: \_\_\_\_\_

4. Assessor's Map-Block-Lot (e.g. 09-06-46) 05 - 06 - 28 Zone (e.g. R-1) R-1 Acres 46.5

5. Road frontage 1,840' Existing % lot coverage 2.48% Proposed lot coverage 2.46%  
(Maximum lot coverage in residential districts is 15% on less than 2 acres, 12.5% on between 2 and 3 acres, and 10% on greater than 3 acres)

6. Brief description of proposed permitted activity (e.g., build 20' x 30' addition onto main dwelling):

DEMOLISH EXISTING WOODEN BARN & ADJACENT WOODEN ACCESSORY STRUCTURE; BOTH STRUCTURES ARE IN A CONDITION BEYOND REPAIR. WITHIN FOOTPRINT OF DEMOLISHED BARN, CONSTRUCT NEW WOOD-CLAD TIMBER FRAME BARN; VOLUME OF NEWLY CONSTRUCTED BARN TO BE LESS THAN VOLUME OF DEMOLISHED STRUCTURES. SEE ATTACHED DRAWINGS.

Use (e.g., garage) BARN Area of new structure 2,190 sq. ft. Max. height 28'  
(See §11.7)

7. Provide a plot plan on a separate sheet of paper showing:

- |   |  |
|---|--|
| <input type="checkbox"/> Address of property                          | <input type="checkbox"/> Use of structures (house, barn, garage, etc.) |
| <input type="checkbox"/> Owner's name                                 | <input type="checkbox"/> Driveways, parking, abutting streets          |
| <input type="checkbox"/> Date of drawing                              | <input type="checkbox"/> Locations of utility poles                    |
| <input type="checkbox"/> Scale (indicate "not to scale")              | <input type="checkbox"/> Front, rear, side setbacks                    |
| <input type="checkbox"/> Property boundaries with dimensions          | <input type="checkbox"/> Setbacks from wetlands and watercourses       |
| <input type="checkbox"/> Acreage or square feet of property           | <input type="checkbox"/> Water supply with distances per §12.1         |
| <input type="checkbox"/> North arrow                                  | <input type="checkbox"/> Septic system with distances per §12.1        |
| <input type="checkbox"/> Location of existing and proposed structures | <input type="checkbox"/> Elevations where significant                  |



# Brian E. Neff, P.E.

Licensed Engineer

128 Bacon Road  
Roxbury, Connecticut 06783  
Phone & Fax: (860) 354-2246  
E-Mail: [bneffpe@gmail.com](mailto:bneffpe@gmail.com)

May 5, 2021

Andy Engel  
E-mail: [aeinct@aol.com](mailto:aeinct@aol.com)

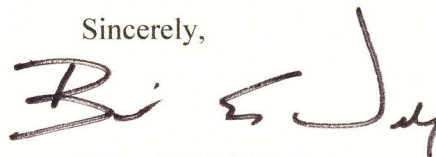
Reference: Existing barn structural inspection  
7 Worcester Road in Washington, Connecticut

Dear Andy,

At your request, I conducted an inspection of the existing barn structure at the Durrett residence at 7 Worcester Road. Attached are two pages of photos showing the exterior and interior of the building. The barn is in the northwest corner of the lot and the north wall extends directly along the property line adjacent to Worcester Road. The Tax Assessor field card for the property lists the year built as 1860, which appears consistent with the field stone foundation walls and post & beam framing. There is significant settling and movement of the foundation walls, which indicate the support structure does not extend below the Building Code required minimum footing depth of 42" below finish grade. The concrete floor slab has numerous cracks and deflection due to freeze/thaw conditions. Some post and beam framing members have been replaced and the upper floor is partially supported by temporary jacking posts. From my inspection, I would rate the current barn structure as in poor condition. My recommendation is to dismantle the existing wood framing and salvage the timbers and boards that are not rotted or insect damaged. A new concrete foundation with footings and walls constructed according to Building Code standards is definitely required to provide support for a reconstructed barn.

Please give me a call if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian E. Neff". The signature is stylized and cursive.

Brian E. Neff, P.E.



BARN PHOTOS MAY 5, 2021  
#7 WORCESTER ROAD WASHINGTON, CONNECTICUT





BARN PHOTOS MAY 5, 2021  
#7 WORCESTER ROAD WASHINGTON, CONNECTICUT





# 7-11 WORCESTER RD RESIDENCE

7-11 WORCESTER ROAD  
WASHINGTON DEPOT, CT 06794

7-11 WORCESTER RD  
RESIDENCE  
7-11 WORCESTER ROAD, WASHINGTON  
DEPOT, CT 06794

CWB ARCHITECTS  
45 Main Street  
Studio 824  
Brooklyn, NY 11201  
[P] 718 624 1700  
[F] 718 624 3332  
www.cwbarchitects.com

## ABBREVIATIONS & SYMBOLS

### ARCHITECTURAL ABBREVIATIONS

ABBR	DESCRIPTION	ABBR	DESCRIPTION
&	AND	HR	HOUR
@	AT	HVAC	HEATING, VENTILATION & A/C
A/C	AIR CONDITIONING	HW	HOT WATER
ACCOM	ACCOMMODATE	IN (")	INCH
ACT	ACOUSTIC CEILING TILE	INCL	INCLUDED; INCLUDING
ADJ	ADJACENT	INSUL	INSULATION; INSULATED
ADJT	ADJUSTABLE	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	JT	JOINT
ALT	ALTERNATE	L	LENGTH
ALUM	ALUMINUM	LACQ	LACQUER
ANOD	ANODIZED	LAM	LAMINATED; LAMINATIONS
AP	ACCESS PANEL	LAV	LAVATORY
APPROX	APPROXIMATELY	LIN	LINEAR
ARCH	ARCHITECT; ARCHITECTURAL	LOC	LEAD COATED COPPER
BB	BASEBOARD	LT	LIGHT
BC	BUNDLED CABLE	MAS	MASONRY
BD	BOARD	MAX	MAXIMUM
BEY	BEYOND	MECH	MECHANICAL
BIT	BITUMINOUS	MEMB	MEMBRANE
BLDG	BUILDING	MFR	MANUFACTURER
BLK	BLOCK	MID	MIDDLE
BLKG	BLOCKING	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MLWK	MILLWORK
BRG	BEARING	MGMT	MANAGEMENT
BTW	BETWEEN	MO	MASONRY OPENING
CAB	CABINET	MGRWB	MOISTURE RESISTANT GWB
CBB	CEMENTITIOUS BACKER BOARD	MTL	METAL
CDR	CEDAR	NIC	NOT IN CONTRACT
CEM	CEMENT; CEMENTITIOUS	NO (#)	NUMBER
CFM	CUBIC FEET PER MINUTE	NOM	NOMINAL
CHR	CHROME	NTS	NOT TO SCALE
CL	CENTERLINE	OA	OVERALL
CIP	CAST-IN-PLACE	OC	ON CENTER
CJT	CONTROL JOINT	OD	OVERALL/OUTSIDE DIM
CLG	CEILING	OPG	OPENING
CLR	CLEARANCE	OPH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	PART	PARTITION; PARTIAL
COMBO	COMBINATION	PBD	PROVIDED BY OTHER/OWNER
CONC	CONCRETE	PCC	PRE-CAST CONCRETE
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
COORD	COORDINATE	PLAS	PLASTER
CP	CENTER POINT	PLUMB	PLUMBING
CPT	CARPET	PLYWD	PLYWOOD
CT	CERAMIC TILE	PNT	PAINT/PAINTED
CTR	CENTER	POL	POLISHED
CW	COLD WATER	POS	POSITIVE
D	DEPTH; DEEP	PRELIM	PRELIMINARY
DEC (°)	DEGREE	PVC	POLYVINYL CHLORIDE
DEMO	DEMOLITION	R	RISER
DEPT	DEPARTMENT	R/A	RETURN AIR
DIA	DIAMETER	RAD	RADIUS; RADIATOR
DIAG	DIAGONAL	RCP	REFLECTED CEILING PLAN
DIF	DIFFUSER	RD, RND	ROUND
DIM	DIMENSION	RECPT	RECEPTACLE
DMPR	DAMPER	REF	REFER TO; REFRIGERATOR
DN	DOWN	REINF	REINFORCED
DR	DOOR	REQD	REQUIRED
DTL	DETAIL	RES	RESILIENT
DW	DISHWASHER	REV	REVEAL
DWG	DRAWING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	SBO	SUPPLIED BY OTHER
ELEV	ELEVATION	SCHED	SCHEDULE
EMER	EMERGENCY	SEC	SECTION
ENCL	ENCLOSURE; ENCLOSED	SIM	SIMILAR
ENG	ENGINEER	SOF	SOFFIT
EQ	EQUAL; EQUIVALENT	SP	SPRINKLER
EQUIP	EQUIPMENT	SPEC	SPECIFICATION; SPECIFIED
EXG	EXISTING	SQ	SQUARE
EXP	EXPOSED	SS	STAINLESS STEEL
EXP JT	EXPANSION JOINT	STL	STEEL
EXT	EXTERIOR	STR	STRAIGHT
FD	FINISH DIMENSION	STOR	STORAGE
FDN	FOUNDATION	STRUCT	STRUCTURE; STRUCTURAL
FF	FINISH FLOOR	SUSP	SUSPENDED
FIN	FINISH	T	TREAD
FIX	FIXTURE	TEL	TELEPHONE
FLG	FLASHING	TEMP	TEMPERATURE/TEMPERED
FLR	FLOOR (ING)	T&G	TONGUE & GROOVE
FLUOR	FLUORESCENT	THK	THICK; THICKNESS
F.O.	FACE OF	TLT	TOILET
FP	FIREPROOFING	T.O.	TOP OF
FPSC	FIREPROOF SELF-CLOSING	T.O.S	TOP OF SLAB
FR	FIRE RESISTANT	TYP	TYPICAL
FS	FINISH SLAB	UNO	UNLESS NOTED OTHERWISE
FT (')	FOOT; FEET	VB	VAPOR BARRIER
FTG	FOOTAGE; FOOTING	VCT	VINYL COMPOSITION TILE
GA	GAUGE	VEN	VENEER
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GD	GROUND	W	WIDTH
GFI	GROUND FAULT INTERRUPTER	W/	WITH
GL	GLASS	WC	WATER CLOSET
GWB	GYPSON WALL BOARD	W/D	WASHER & DRYER
HD	HAND; HEAD	WD	WOOD
HDR	HEADER	WIN	WINDOW
HDWR	HARDWARE	WPF	WATERPROOF
HT, HGT	HEIGHT	WPM	WATERPROOF MEMBRANE
HM	HOLLOW METAL	W/O	WITHOUT
HORIZ	HORIZONTAL		

### ARCHITECTURAL SYMBOLS LEGEND

SYM BOL	DESCRIPTION
ROOM NAME	ROOM TAG: NAME, NUMBER, & AREA
SF	SQUARE FEET
EXG CONSTRUCTION	EXISTING CONSTRUCTION
EXG CONSTRUCTION TO BE REMOVED	EXISTING CONSTRUCTION TO BE REMOVED
NEW CONSTRUCTION	NEW CONSTRUCTION
NEW CONCRETE CONSTRUCTION	NEW CONCRETE CONSTRUCTION
OVERHEAD	OVERHEAD
HIDDEN BELOW	HIDDEN BELOW
LAVATORY	LAVATORY
CENTER LINE	CENTER LINE
EXG DOOR	EXISTING DOOR
NEW DOOR	NEW DOOR
DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO	DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
CENTERLINE	CENTERLINE
PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO	PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO	INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO
DOOR TAG: REFERS TO DOOR SCHEDULE	DOOR TAG: REFERS TO DOOR SCHEDULE
WINDOW TAG: REFERS TO WINDOW SCHEDULE	WINDOW TAG: REFERS TO WINDOW SCHEDULE
OBJECT TAG: REFERS TO SCHEDULE	OBJECT TAG: REFERS TO SCHEDULE
WALL TYPE INDICATOR	WALL TYPE INDICATOR
ELEVATION DATUM	ELEVATION DATUM
SPOT ELEVATION	SPOT ELEVATION
REVISION MARKER	REVISION MARKER
STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION	STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION

## INDEXES

NO	TITLE
T-001	COVER SHEET: PROJECT & SITE INFORMATION
Z-001	ZONING DIAGRAMS
G-001	TOPOGRAPHIC SURVEY
G-002	WALL, FLOOR, & ROOF TYPES
G-003	WINDOW & DOOR SCHEDULE
DM-101	BARN & SHED DEMOLITION PLAN
A-100	FOUNDATION PLAN
A-101	FIRST FLOOR CONSTRUCTION PLAN
A-102	SECOND FLOOR CONSTRUCTION PLAN
A-103	ROOF PLAN
A-501	NORTH ELEVATION
A-502	EAST ELEVATION
A-503	SOUTH ELEVATION
A-504	WEST ELEVATION
A-601	BUILDING SECTION

## FILING

### ZONING NOTES

7-11 WORCESTER ROAD, WASHINGTON, CT 06794  
ZONING DISTRICT: R-1 (FARMING & RESIDENTIAL)  
EXG USE: 2-STORY BARN  
PROPOSED USE: 2-STORY BARN  
ACREAGE: 46.564  
VOL: 243 PG. 665  
TAX ASSESSOR MAP 5, BLOCK 8, LOT 68

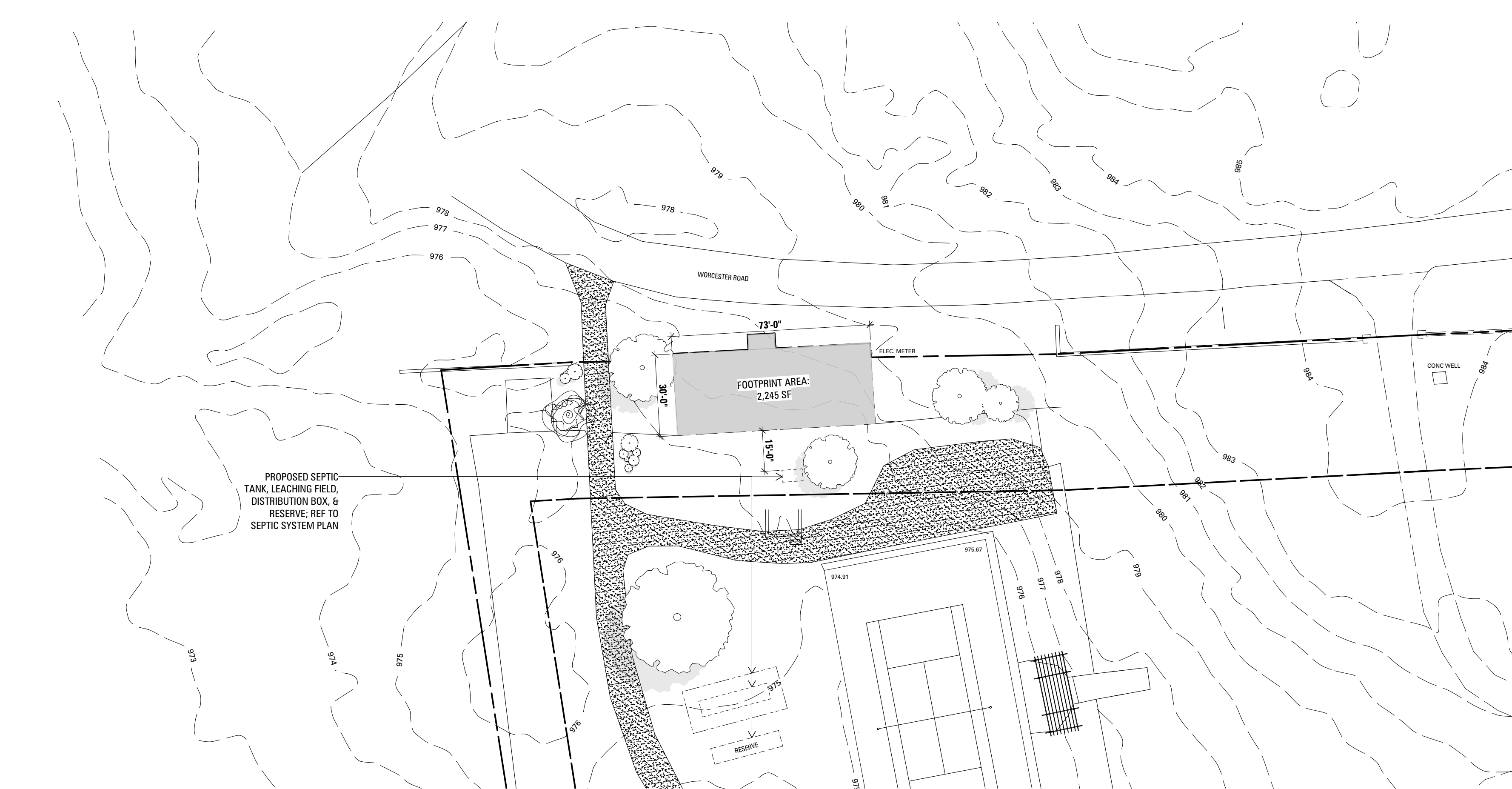
### FLOOR AREA NOTES

EXISTING BARN  
1ST FL AREA: +/- 2,245 SF (INCLUDES BUMP)  
2ND FL AREA: +/- 4,435 SF  
TOTAL AREA: +/- 4,435 SF  
PROPOSED BARN  
1ST FL AREA: +/- 2,190 SF  
2ND FL AREA: +/- 1,160 SF  
TOTAL AREA: +/- 3,350 SF

### FILING NOTES

WORK UNDER: WASHINGTON DEPOT TOWN ORDINANCES

## SITE



PLOT PLAN  
1" = 30'-0"

1

00 07.20.2021 ISSUED FOR ZONING REVIEW

REV NO DATE ISSUED TO



7-11 WORCESTER RD  
RESIDENCE  
7-11 WORCESTER ROAD,  
WASHINGTON DEPOT, CT 06794

SHEET TITLE  
PROJECT INFO, PLOT  
PLAN, SHEET INDEX,  
& SITE SURVEY

SEAL AND SIGNATURE	CWB PROJECT NUMBER
	(PROJ #)
	DRAWN BY
	REVIEWED BY
SHEET NUMBER	SHEET

T-001.00

CWB ARCHITECTS

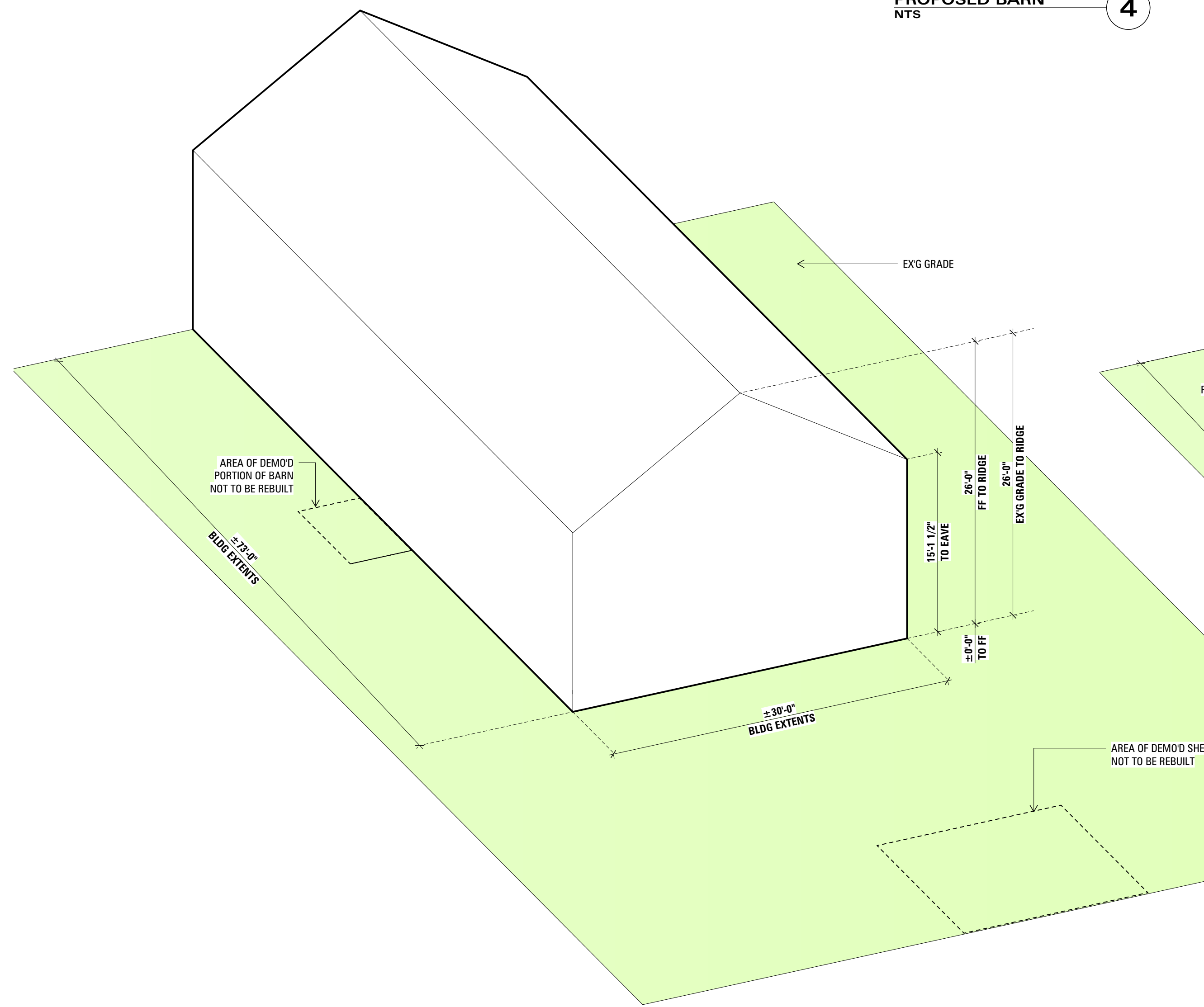




PHOTO PROPOSED BARN NTS 4

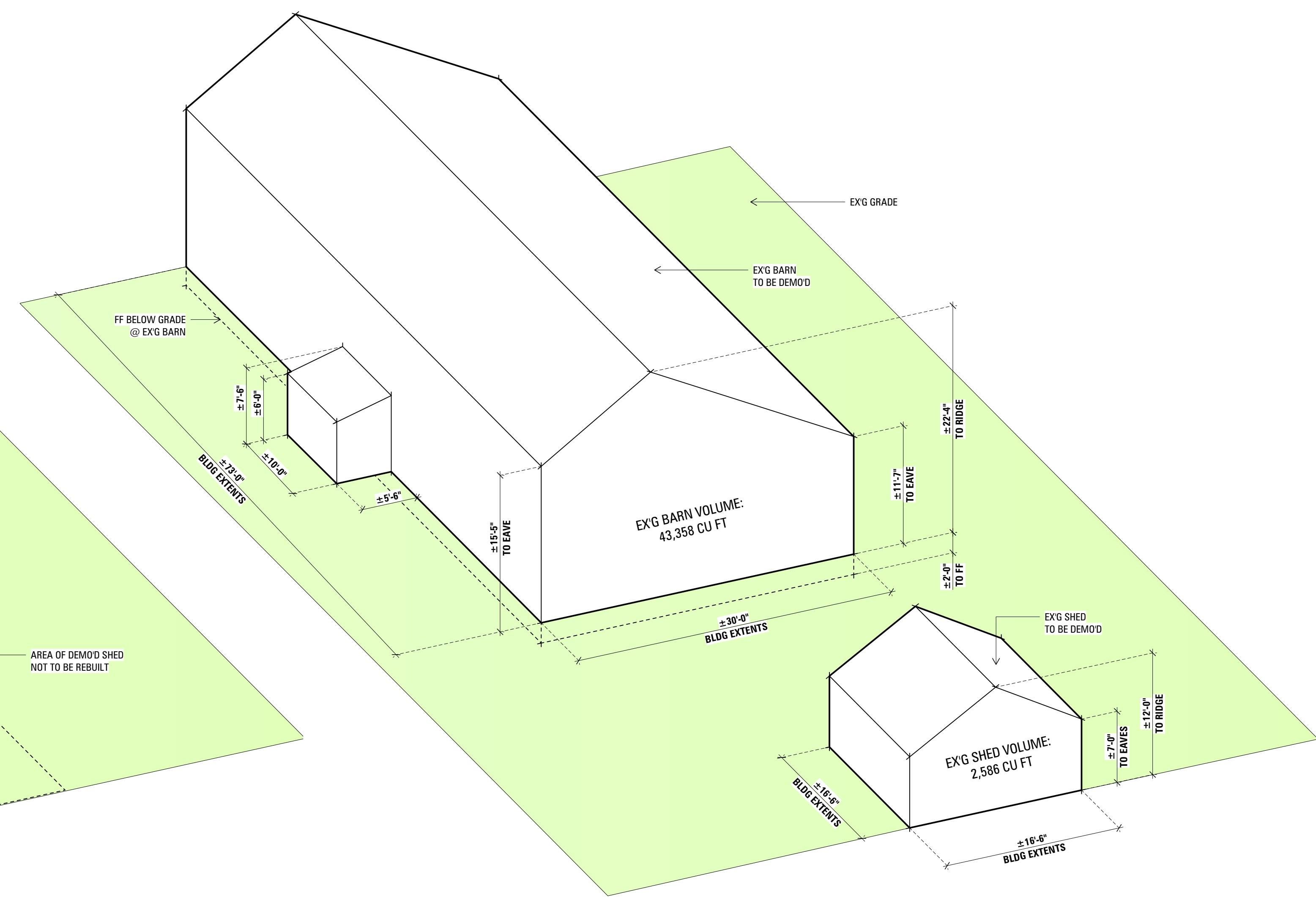


PHOTO EXISTING BARN NTS 3



**PROPOSED VOLUME / BULK**  
45,716 CU FT

ZONING DIAGRAM PROPOSED BULK SCALE: 1/8" = 1'-0" 2



**EXG VOLUME / BULK**  
43,358 SF + 2,586 SF = 45,944 CU FT TOTAL

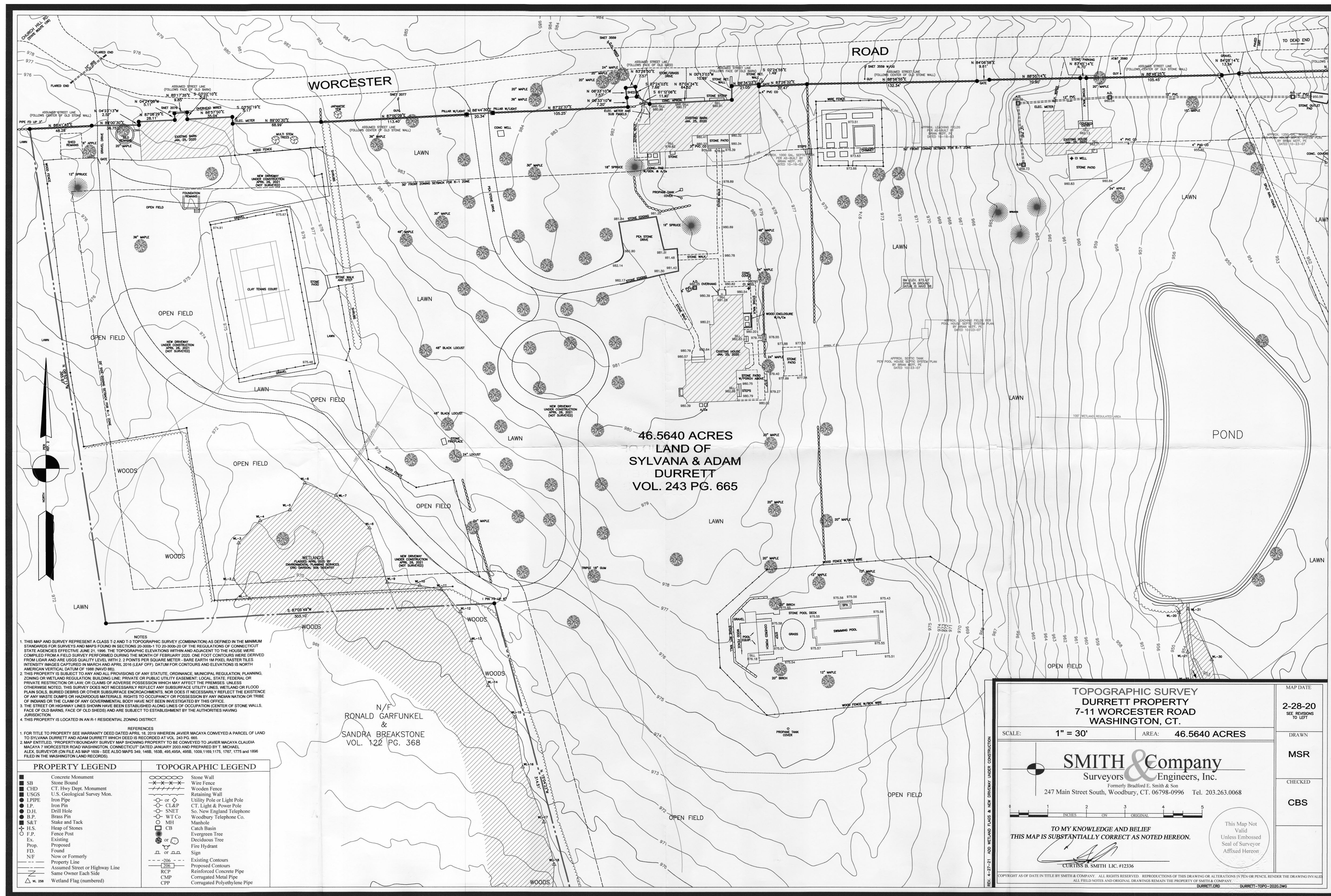
ZONING DIAGRAM EXISTING BULK SCALE: 1/8" = 1'-0" 1

00	07.20.2021	ISSUED FOR ZONING REVIEW
REV NO	DATE	ISSUED TO

ZONING DIAGRAMS

SEAL AND SIGNATURE	CWB PROJECT NUMBER
	(PROJ #)
	DRAWN BY
	REVIEWED BY
SHEET NUMBER	SHEET





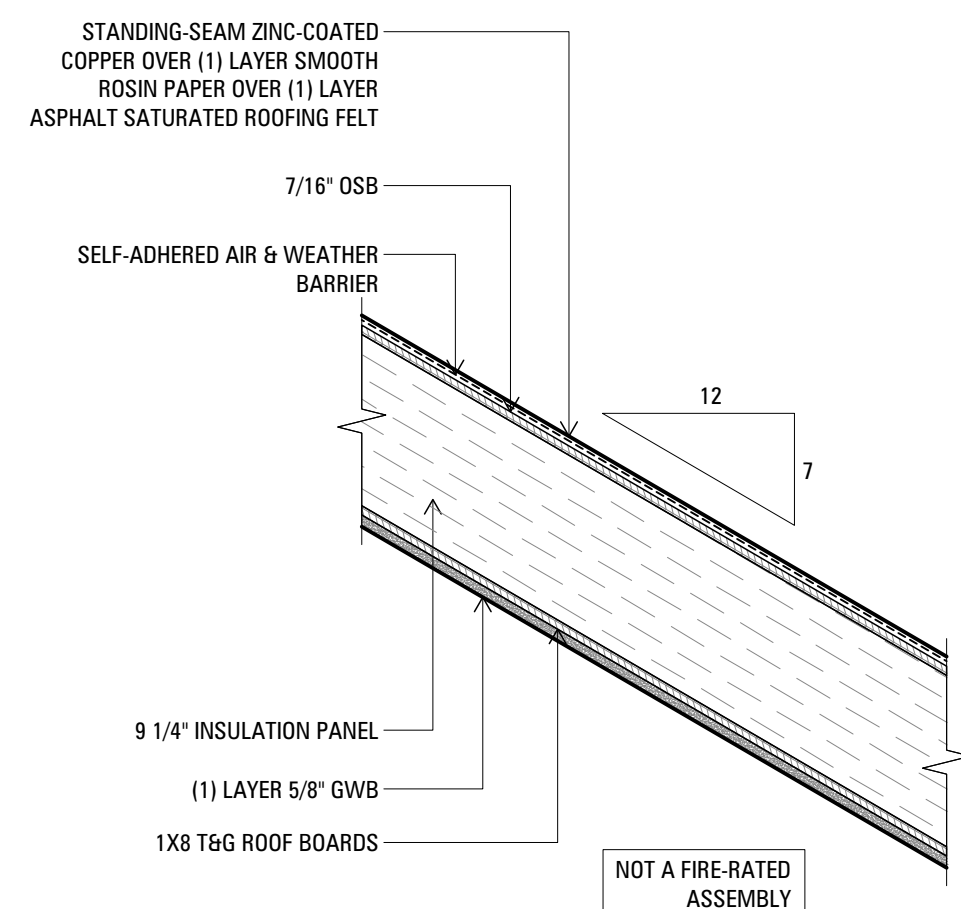
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00	07.20.2021	ISSUED FOR ZONING REVIEW
REV NO	DATE	ISSUED TO

**7-11 WORCESTER RD**  
**RESIDENCE**  
 7-11 WORCESTER ROAD,  
 WASHINGTON DEPOT, CT 06794

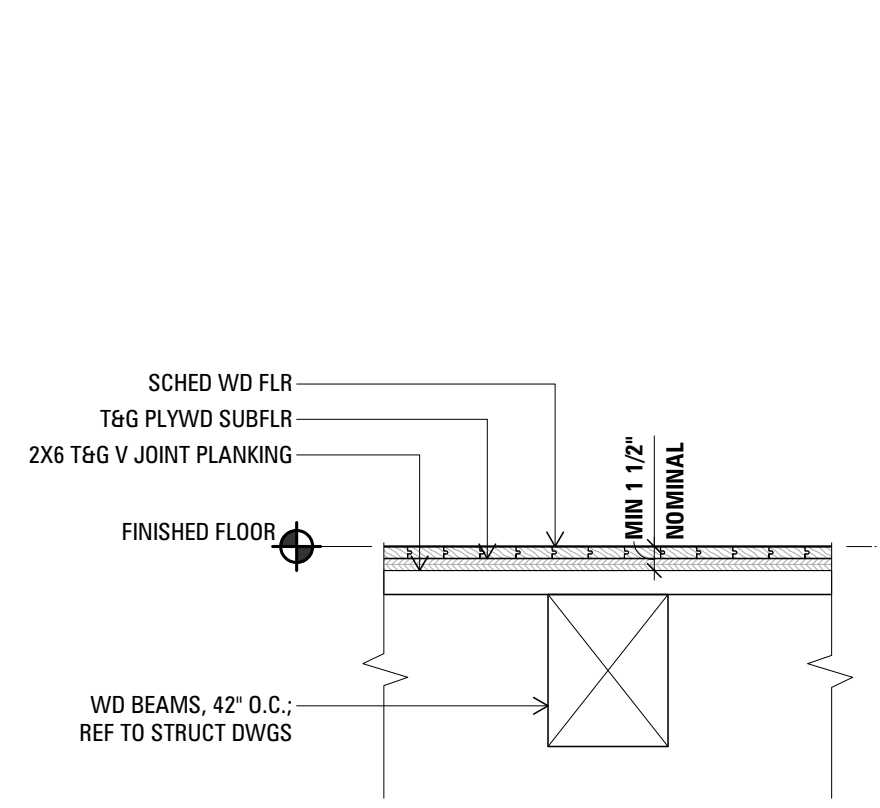
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CHECKED	CBS

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	(PROJ #)
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SHEET NUMBER	SHEET

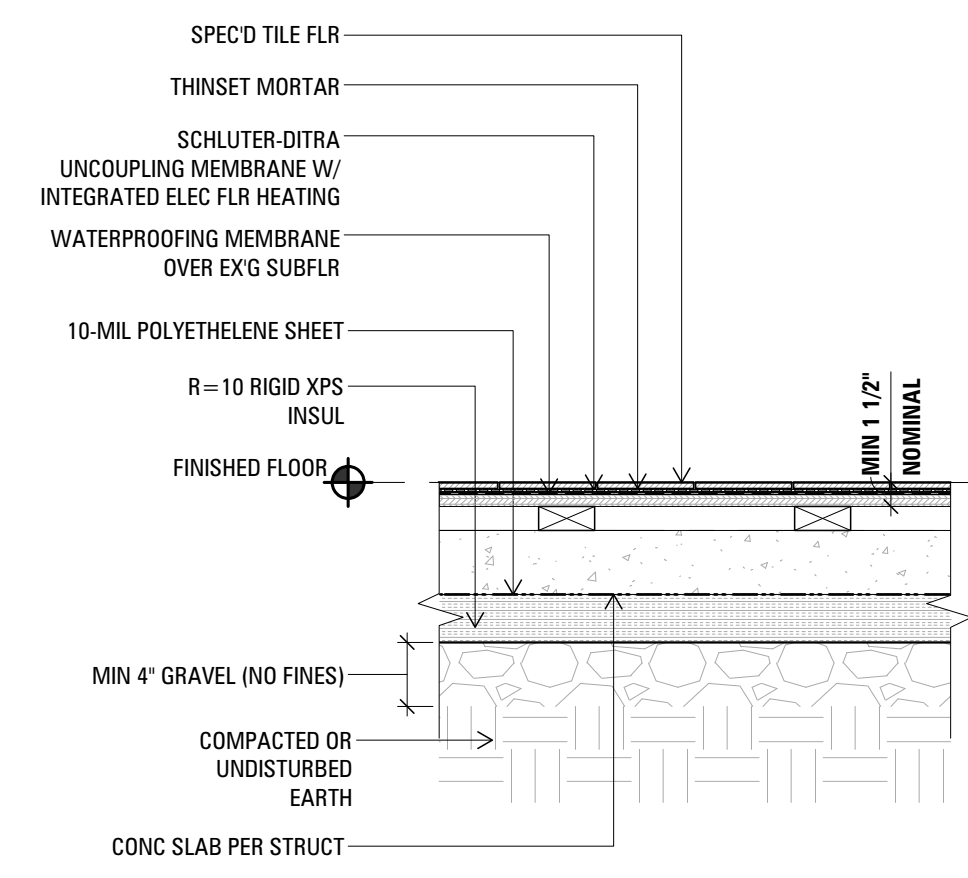




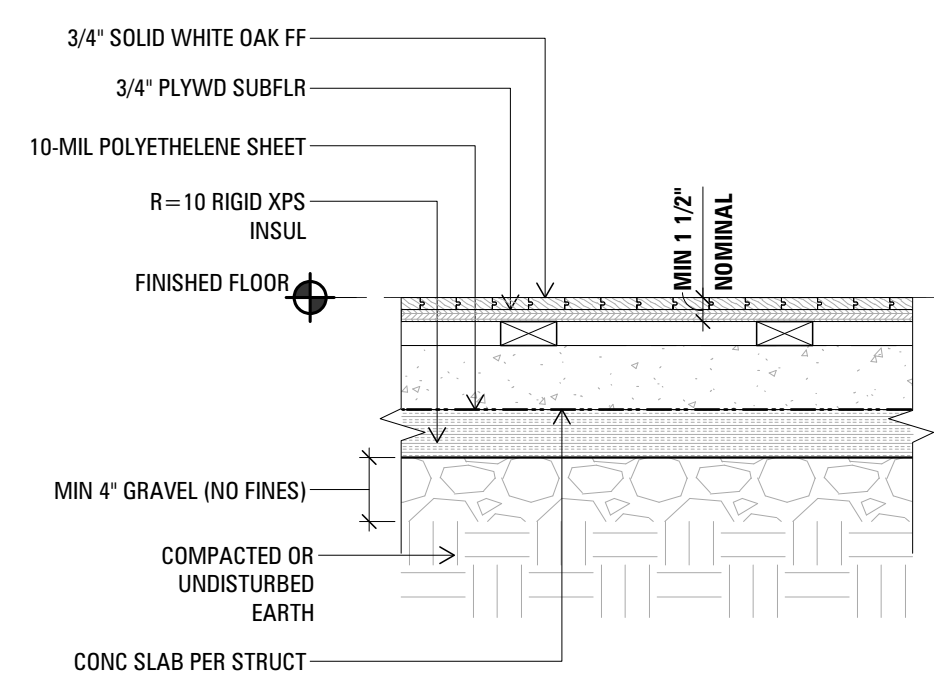
**STANDING SEAM METAL  
ROOF ASSEMBLY**  
SCALE 1" = 1'-0"  
**DD**



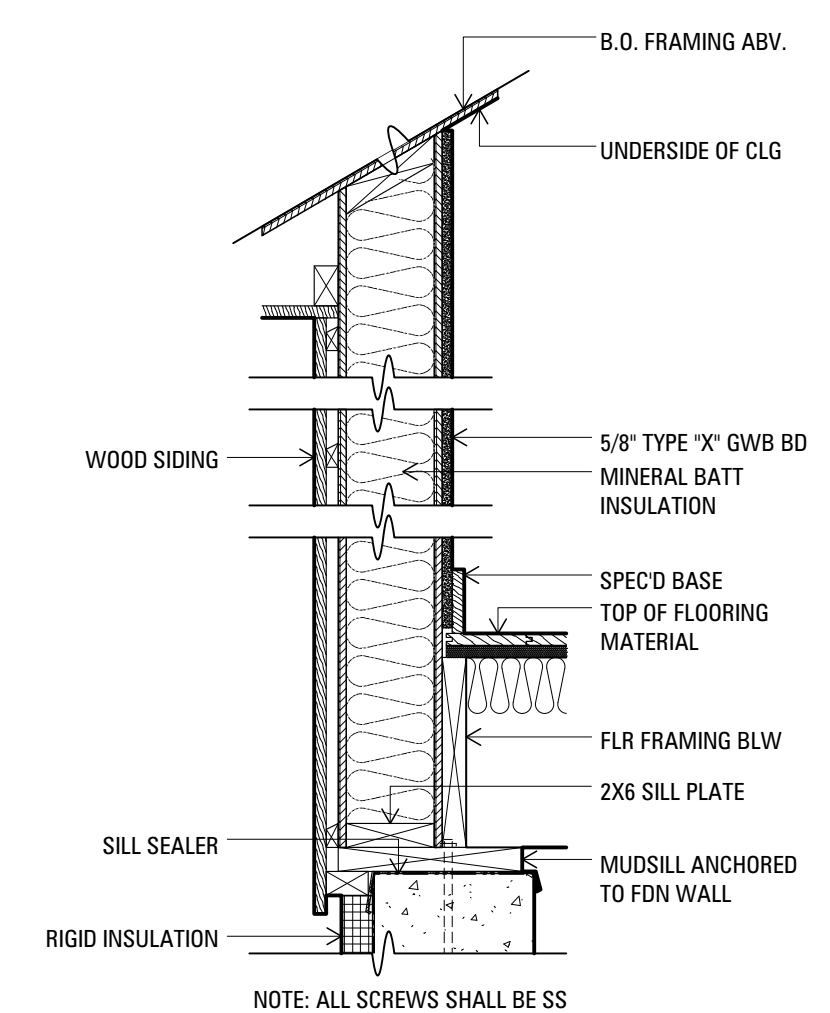
**WOOD FLOOR ASSEMBLY  
@ 2ND FLOOR**  
SCALE 1" = 1'-0"  
**CC**



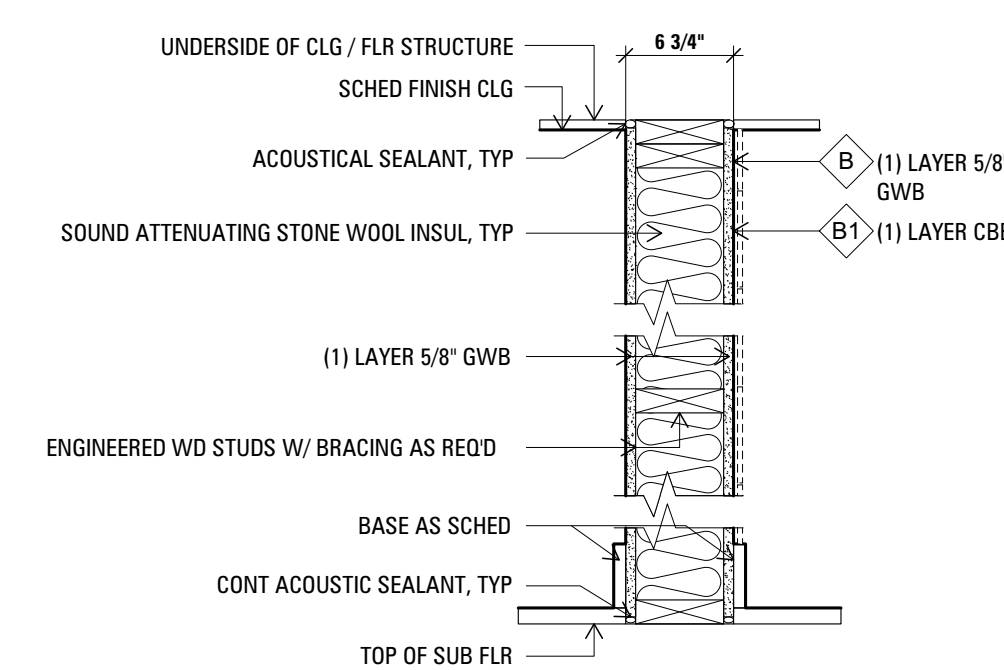
**TILE FLOOR ASSEMBLY  
@ 1ST FLOOR**  
SCALE 1" = 1'-0"  
**BB**



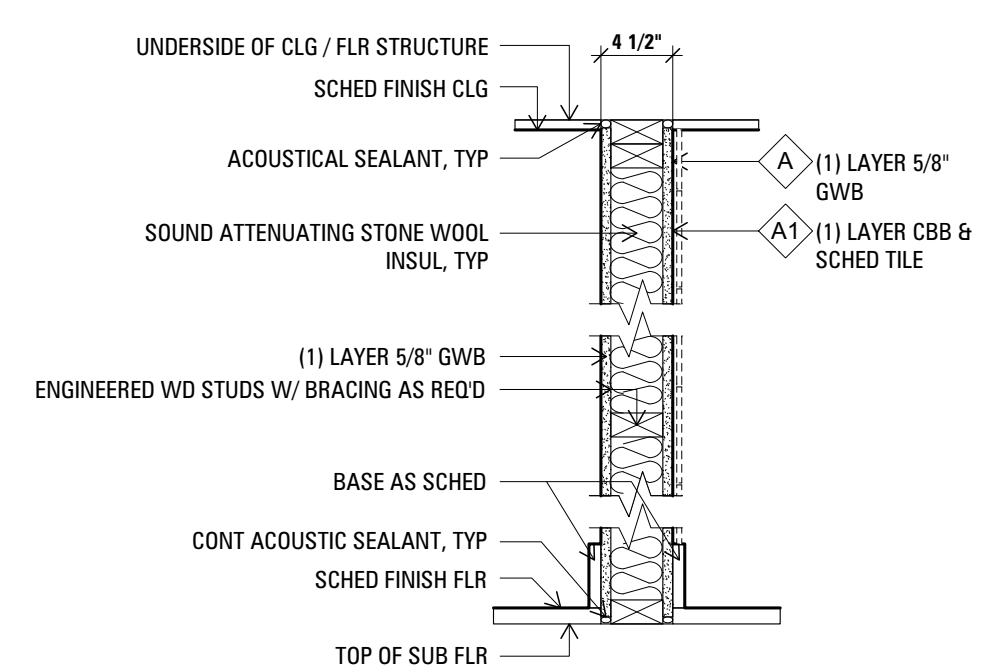
**WOOD FLOOR ASSEMBLY  
@ GRADE**  
SCALE 1" = 1'-0"  
**AA**



**EXT WALL ASSEMBLY**  
SCALE 1" = 1'-0"  
**C**



**NON-RATED INTERIOR  
WALL ASSEMBLY**  
SCALE 1" = 1'-0"  
**B**



**NON-RATED INTERIOR  
WALL ASSEMBLY**  
SCALE 1" = 1'-0"  
**A**

00 07.20.2021 ISSUED FOR ZONING REVIEW  
REV NO DATE ISSUED TO

**7-11 WORCESTER RD  
RESIDENCE**  
7-11 WORCESTER ROAD,  
WASHINGTON DEPOT, CT 06794

SHEET TITLE  
**WALL, FLOOR, &  
ROOF TYPES**

SEAL AND SIGNATURE  
  
CWB PROJECT NUMBER  
DRAWN BY  
REVIEWED BY  
SHEET

**G-002.00**  
CWB ARCHITECTS

**CONSULTANTS**

**TIMBER FRAME**  
PAUL GUND  
VERMONT FRAMES  
22 VARNNEY HILL RD  
STARKSBORO, VT 05487  
802-453-3727

**STRUCTURAL ENGINEER**  
BRIAN NEFF  
NEFF BRIAN E  
128 BACON RD  
ROXBURY, CT 06783  
860-354-2246

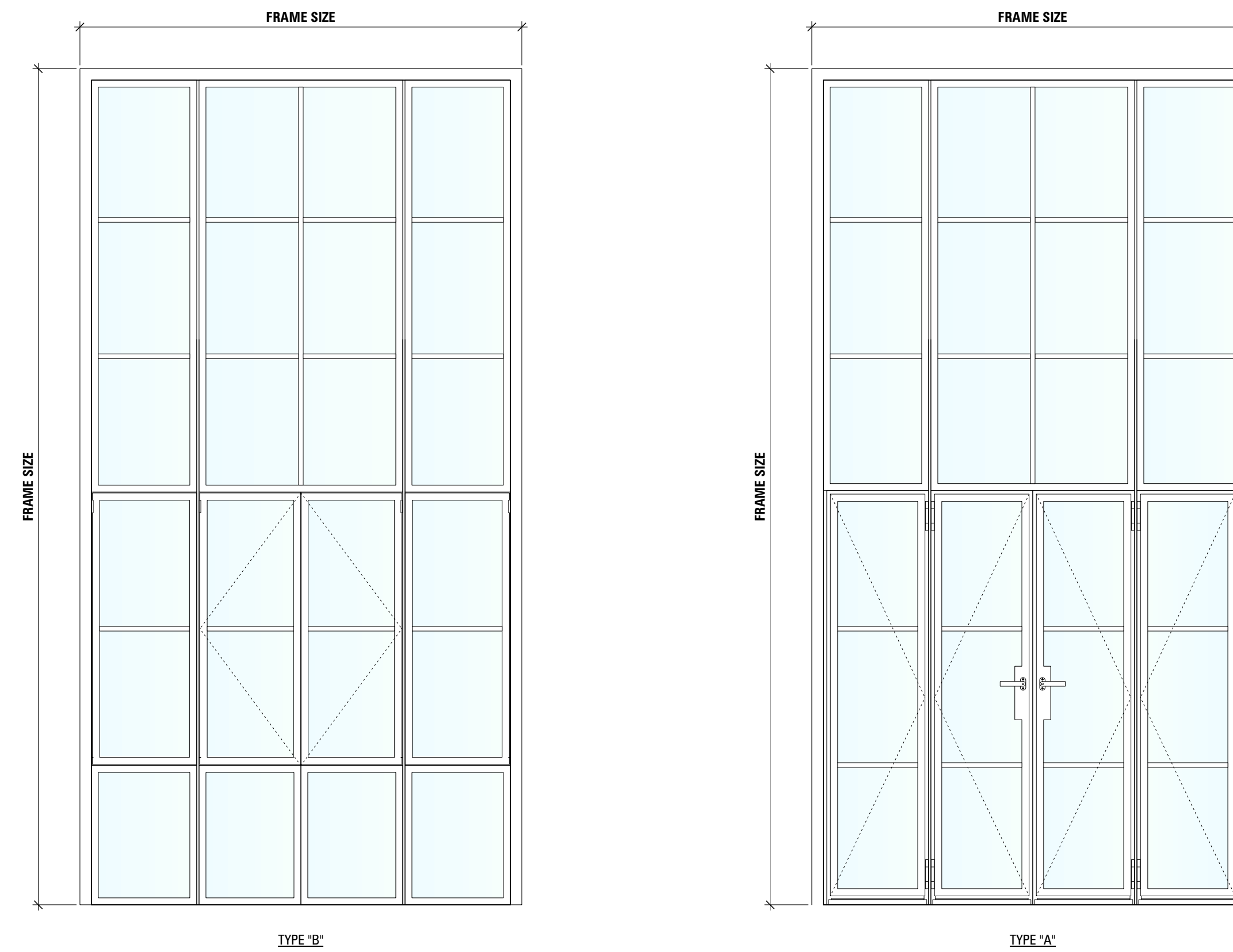
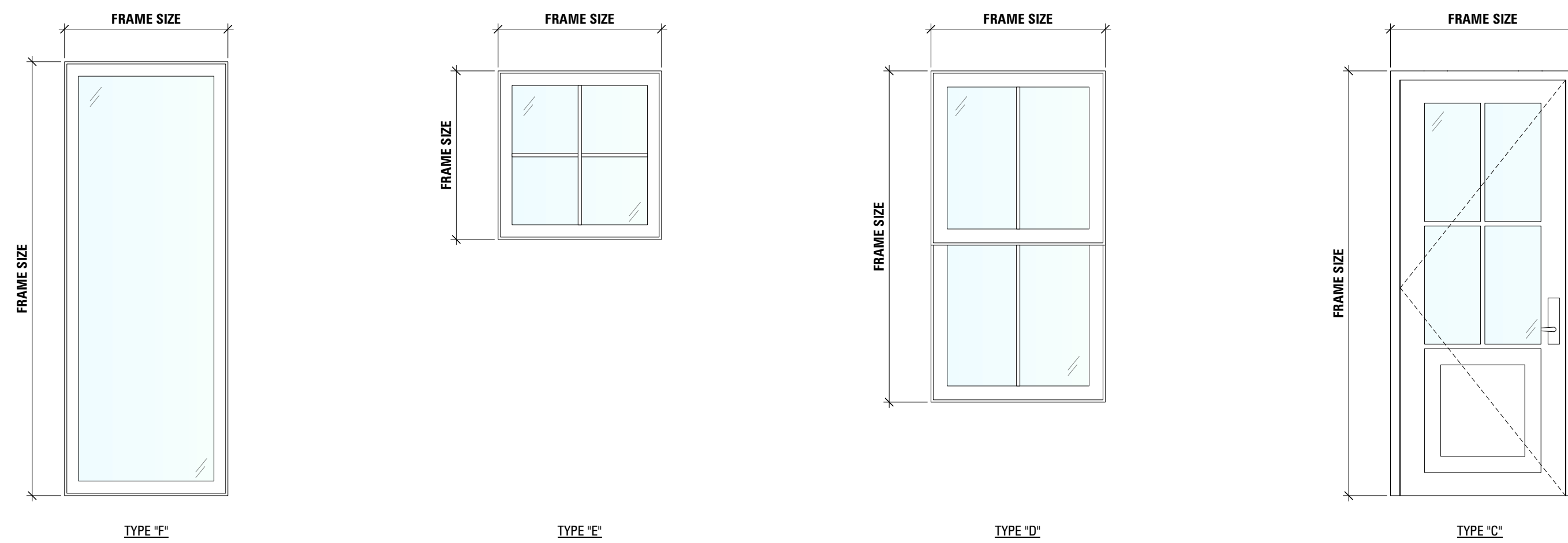
**WINDOWS & EXTERIOR DOORS**

NO	TYPE	MFR	MODEL	MATERIAL	OPERATION	OPENING (WxH)	HDWR	REMARKS
<b>1ST FLOOR</b>								
101A	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
101B	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
101C	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
101D	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
102A	A	DYNAMIC	JF0041-0001	STEEL	BI-FOLD	8'-0" x 15'-11 1/16"	INCL	--
102B	B	DYNAMIC	JF0041-0001	STEEL	BI-FOLD	8'-0" x 15'-11 1/16"	INCL	--
103A	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
103B	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
106A	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
107A	C	--	--	--	SINGLE INSWING	3'-0" x 7'-8"	INCL	--
107B	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
<b>2ND FLOOR</b>								
201A	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
201B	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
201C	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
201D	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
201E	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
201F	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202A	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202B	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202C	D	MARVIN	UDHG2 3232 E	ALUM-CLAD	DOUBLE HUNG	3'-1 3/4" x 5'-11 3/4"	INCL	--
202D	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202E	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202F	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
202G	E	MARVIN	UAWN3640 UAWNFP03636	ALUM-CLAD	SINGLE OUTSWING	3'-1/2" x 2'-11 3/8"	INCL	--
<b>ROOF</b>								
R01A	F	VELLUX	FCM 2270	ALUM	FIXED	OUTSIDE CURB DIM 25 1/2" x 73 1/2"	N/A	SKYLIGHT
R01B	F	VELLUX	FCM 2270	ALUM	FIXED	OUTSIDE CURB DIM 25 1/2" x 73 1/2"	N/A	SKYLIGHT
R01C	F	VELLUX	FCM 2270	ALUM	FIXED	OUTSIDE CURB DIM 25 1/2" x 73 1/2"	N/A	SKYLIGHT

**GENERAL NOTES:**

- REFER TO PROJECT MANUAL FOR ADDITIONAL SPECIFICATIONS.
- GC TO VERIFY ALL MAS OP G/ROUGH OP G DIMS & NOTIFY ARCH OF ANY DISCREPANCIES.
- GC TO COORDINATE FACTORY-APPLIED EXTENSION JAMBS W/ WALL THICKNESSES. GC TO VERIFY ACTUAL WALL THICKNESSES PRIOR TO ORDER.
- GC TO PROVIDE COORDINATED SHOP DWGS OF ALL UNITS.
- SEE EXT ELEVS FOR ACTIVE SASH DESIGNATIONS & DR SWINGS. VERIFY OPERATION IN FIELD W/ ARCH PRIOR TO ORDER.
- ALL WINDOWS & EXTERIOR DOORS TO BE PROVIDED WITH BUG SCREENS, REF PROJECT MANUAL FOR SPECIFICATIONS.
- GC TO PROVIDE ALL EXT WINDOWS & DOORS.
- ALL UNITS MUST MEET ENERGY CODE REQUIREMENTS: MAX U-VALUE = 0.32; MAX SHGC = 0.40 (FOR SKYLIGHTS: MAX U-VALUE = 0.55; MAX SHGC = 0.40).
- GC TO COORDINATE WINDOW OPENING CONTROL/LIMITING DEVICES W/ OWNER & ARCHITECT PRIOR TO WINDOW ORDER.
- PROVIDE TEMPERED GLASS WHERE NOTED BY 'T' ON TYPE DRAWINGS, OR WHERE REQUIRED BY CODE.
- PROVIDE TEMPERED AND LAMINATED GLASS WHERE NOTED BY 'T/L' ON TYPE DRAWINGS.

**WINDOW AND  
EXT DOOR SCHEDULE** 2



**WINDOW AND  
EXT DOOR TYPES**  
SCALE: 1/2" = 1'-0"

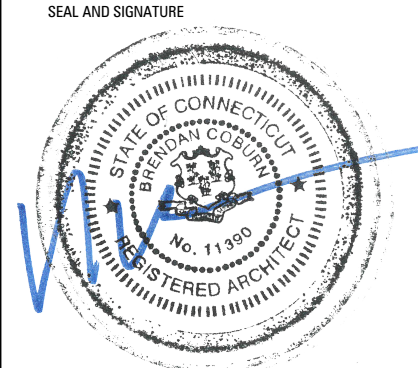
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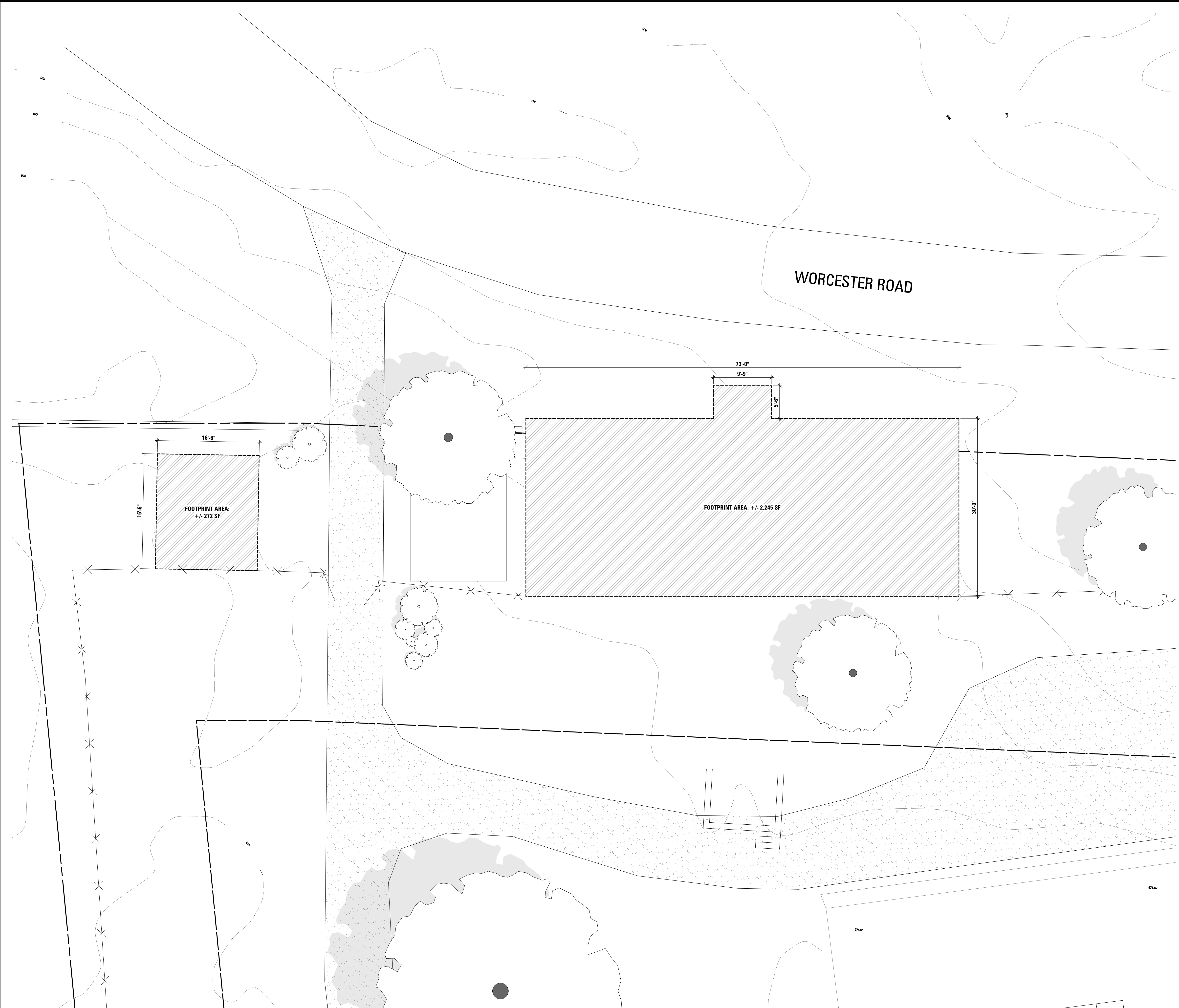
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**WINDOW & DOOR  
SCHEDULE**

SEAL AND SIGNATURE \_\_\_\_\_ CWB PROJECT NUMBER \_\_\_\_\_ (PROJ #)  
DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
SHEET \_\_\_\_\_



**G-003.00**





**DEMOLITION NOTES**

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED EITHER BY TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS, GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPT. OF BUILDINGS RULES AND REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
8. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPT. OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
ROOM NAME OF SF	ROOM TAG: NAME, NUMBER, & AREA
[Dotted Pattern]	EXG CONSTRUCTION
[Hatched Pattern]	EXG CONSTRUCTION TO BE REMOVED
[Solid Pattern]	NEW CONSTRUCTION
[Dashed Line]	OVERHEAD
[Dotted Area]	HIDDEN BELOW
[Door Symbol]	EXG DOOR
[Door Symbol]	NEW DOOR
[Circle with 0/AD.0]	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
[Diamond with A]	WALL TYPE INDICATOR (ALL WALLS TYPE "A", UNO)
[Square with E]	ELECTRICAL METER
[Square with G]	GAS METER
[Square with W]	WATER METER
[Square with P]	ELECTRICAL PANEL
[Square with B]	BATH EXHAUST FAN; REFER TO DRAWING FOR SPECIFICATIONS
[Square with S]	COMBINATION SMOKE-CARBON MONOXIDE DETECTOR

**DEMOLITION PLAN**  
SCALE 1/8" = 1'-0" **1**

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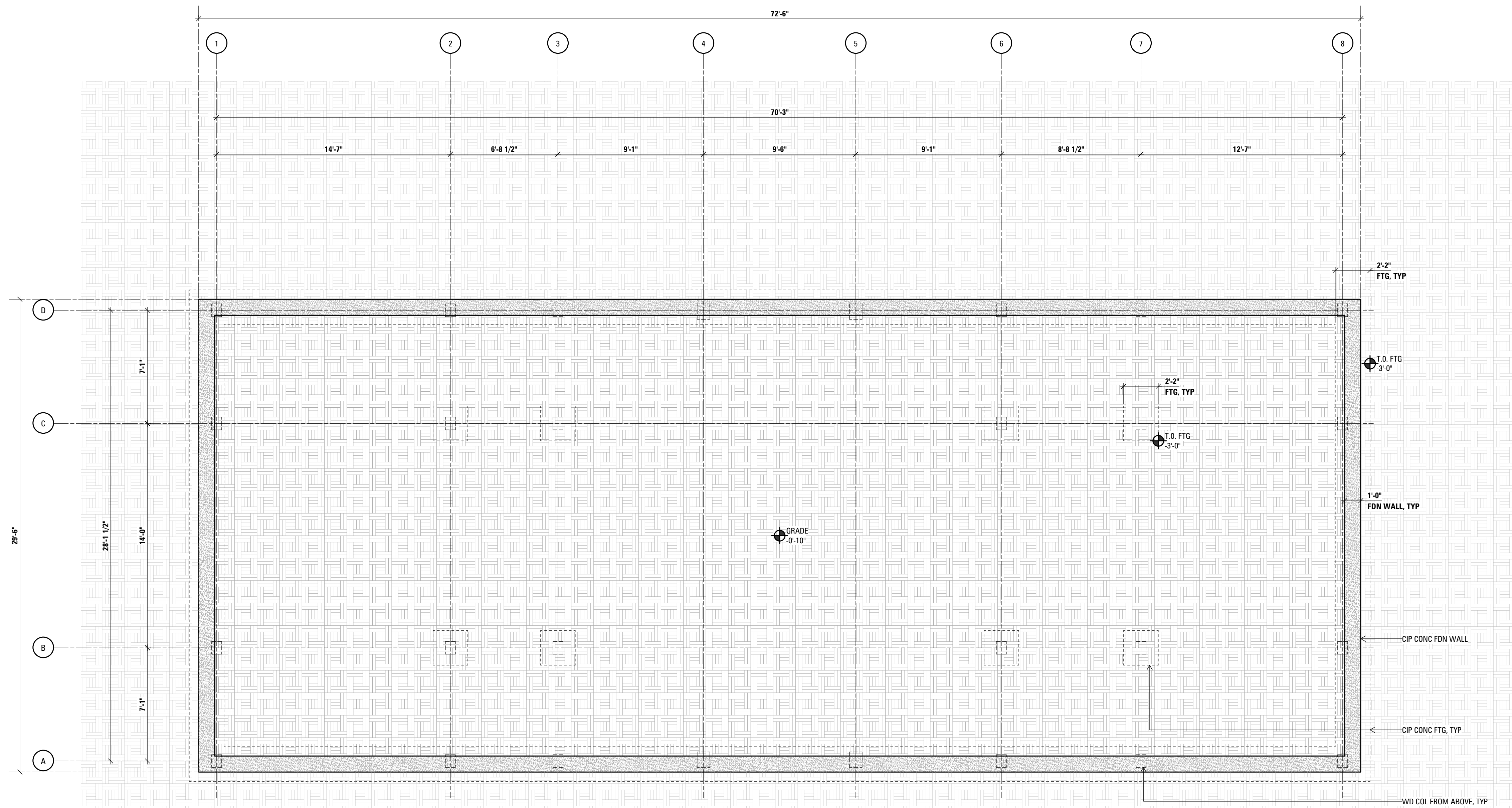
**DEMOLITION PLAN:  
BARN**

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	DRAWN BY
	REVIEWED BY
SHEET NUMBER	SHEET

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**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
ROOM NAME SF	ROOM TAG: NAME, NUMBER, & AREA
[Hatched Box]	EXG CONSTRUCTION
[Diagonal Hatched Box]	EXG CONSTRUCTION TO BE REMOVED
[Solid Box]	NEW CONSTRUCTION
[Dashed Line]	OVERHEAD
[Dotted Line]	HIDDEN BELOW
[Door Symbol]	EXG DOOR
[Door Symbol]	NEW DOOR
[Section Reference Symbol]	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
[Wall Type Indicator Symbol]	WALL TYPE INDICATOR (ALL WALLS TYPE 'A', UNO)
[Electrical Meter Symbol]	ELECTRICAL METER
[Gas Meter Symbol]	GAS METER
[Water Meter Symbol]	WATER METER
[Electrical Panel Symbol]	ELECTRICAL PANEL
[Bath Exhaust Fan Symbol]	BATH EXHAUST FAN; REFER TO DRAWING FOR SPECIFICATIONS
[Smoke Detector Symbol]	COMBINATION SMOKE-CARBON MONOXIDE DETECTOR

**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0" **1**

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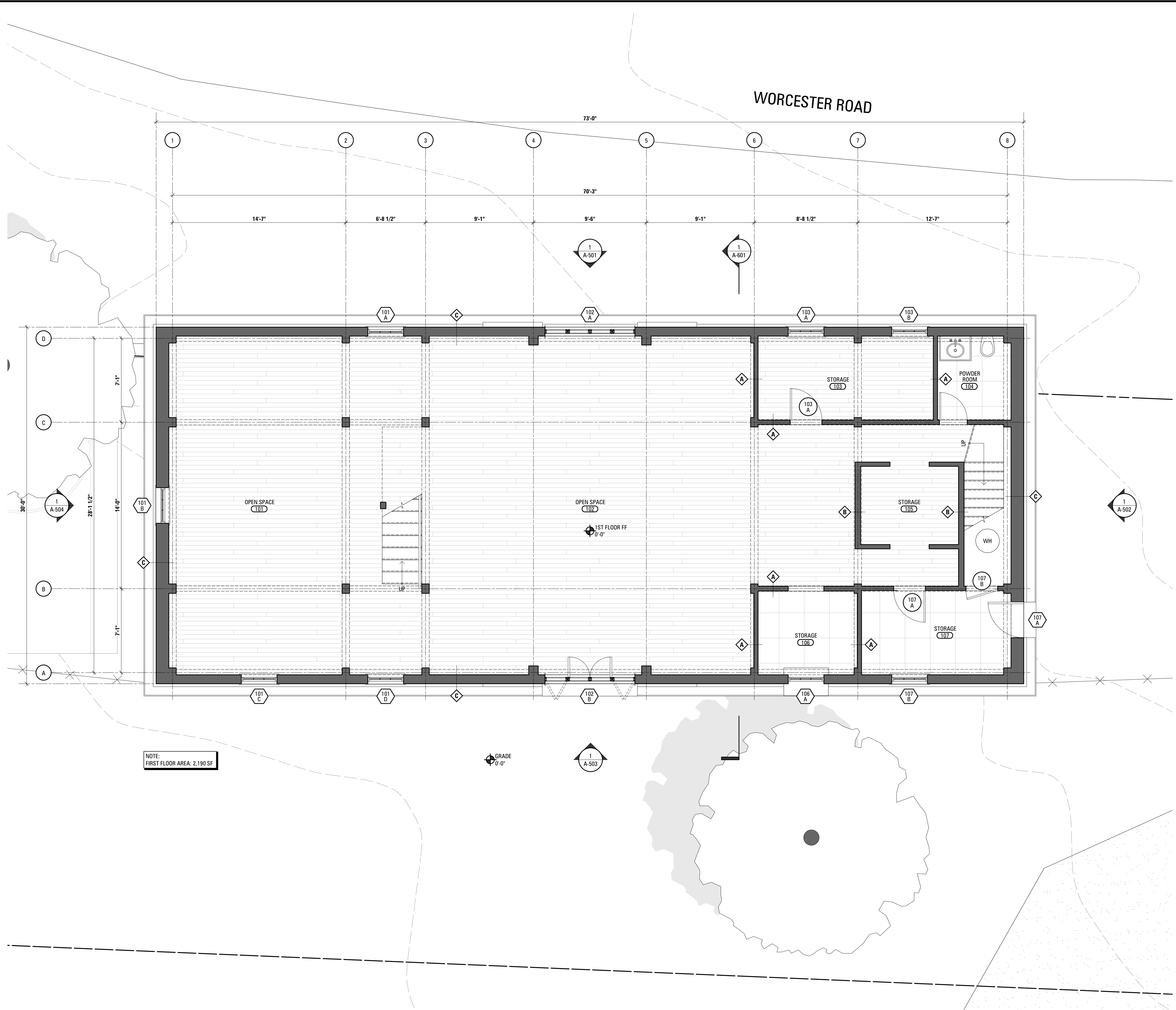


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**FOUNDATION PLAN**

SEAL AND SIGNATURE	CWB PROJECT NUMBER
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	TC
	SHEET

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NOTE:  
FIRST FLOOR AREA: 2,190 SF

**CONSTRUCTION PLAN:  
1ST FLOOR**  
SCALE 1/4" = 1'-0" **1**

**CONSTRUCTION NOTES**

1. CONTRACTOR RESPONSIBLE TO VIF ALL DIMENSIONS.
2. WOOD FLOORING TO BE SALVAGED / MAINTAINED WHERE POSSIBLE, PATCH AND REPAIR AS NEEDED.
3. PROVIDE MIN 3" THERMAL MINERAL WOOL INSULATION BETWEEN ALL FLOOR JOISTS AT BASEMENT CEILING, PAINT INSULATION AND FLOOR JOISTS AS SPECIFIED BY ARCHITECT.
4. PROVIDE SOUND ATTENUATING BATT INSULATION AT ALL NEW POWDER ROOM, BATHROOM, AND LAUNDRY ROOM PARTITIONS.

**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA
	EXG CONSTRUCTION
	EXG CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	OVERHEAD
	HIDDEN BELOW
	EXG DOOR
	NEW DOOR
	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	WALL TYPE INDICATOR (ALL WALLS TYPE 'A', UNO)
	ELECTRICAL METER
	GAS METER
	WATER METER
	ELECTRICAL PANEL
	BATH EXHAUST FAN; REFER TO DRAWING FOR SPECIFICATIONS
	COMBINATION SMOKE-CARBON MONOXIDE DETECTOR

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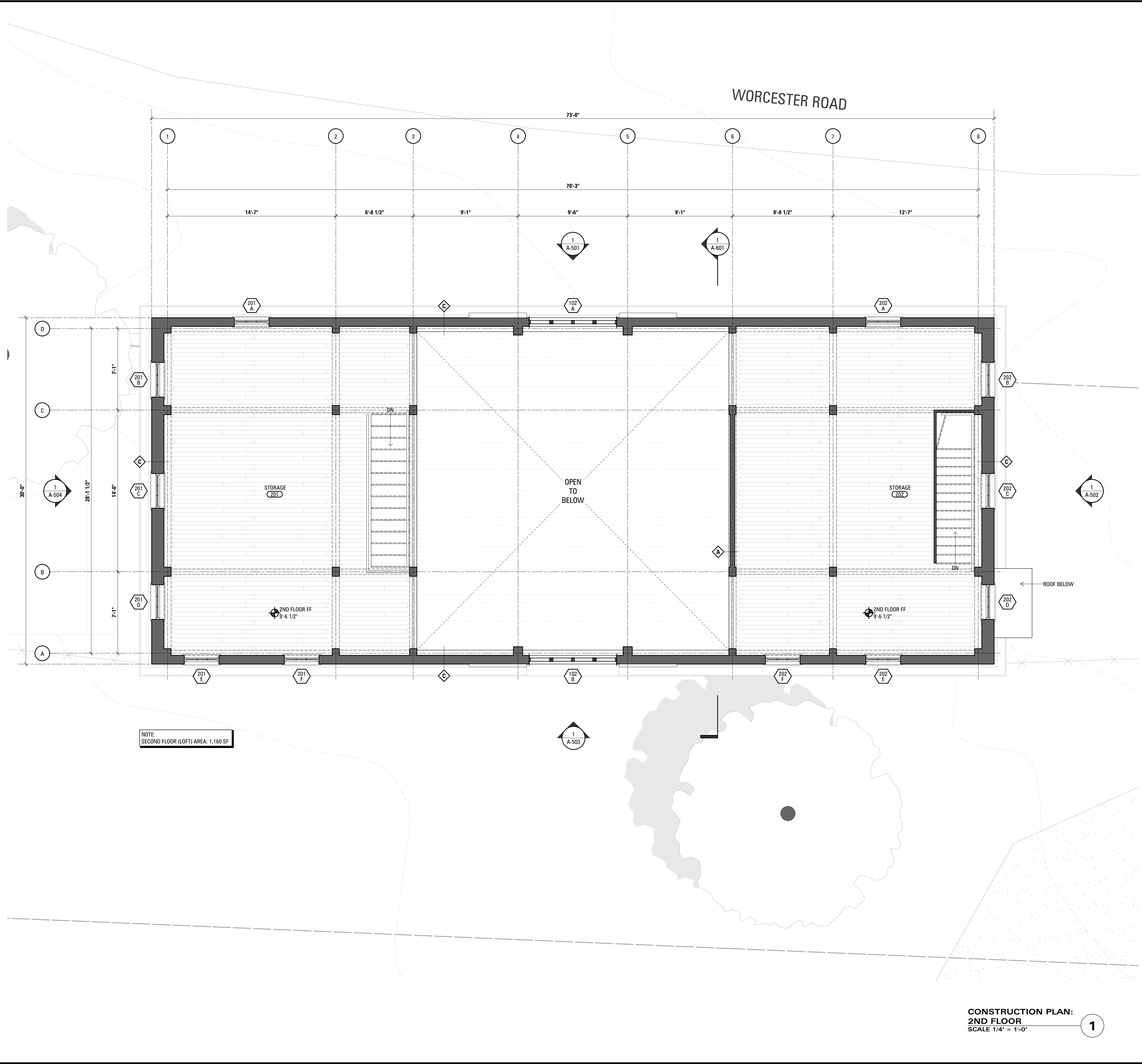
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1ST FLOOR**

SEAL AND SIGNATURE

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**CONSTRUCTION NOTES**

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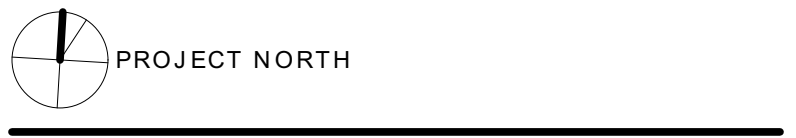
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**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
ROOM NAME E SF	ROOM TAG: NAME, NUMBER, & AREA
[Hatched Box]	EXG CONSTRUCTION
[Diagonal Lines Box]	EXG CONSTRUCTION TO BE REMOVED
[Solid Box]	NEW CONSTRUCTION
[Dashed Box]	OVERHEAD
[Dotted Box]	HIDDEN BELOW
[Door Symbol]	EXG DOOR
[Door Symbol]	NEW DOOR
[Circle with 0]	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
[Diamond with A]	WALL TYPE INDICATOR (ALL WALLS TYPE 'A', UNO)
[Meter Symbol]	ELECTRICAL METER
[Meter Symbol]	GAS METER
[Meter Symbol]	WATER METER
[Panel Symbol]	ELECTRICAL PANEL
[Fan Symbol]	BATH EXHAUST FAN; REFER TO DRAWING FOR SPECIFICATIONS
[Detector Symbol]	COMBINATION SMOKE-CARBON MONOXIDE DETECTOR

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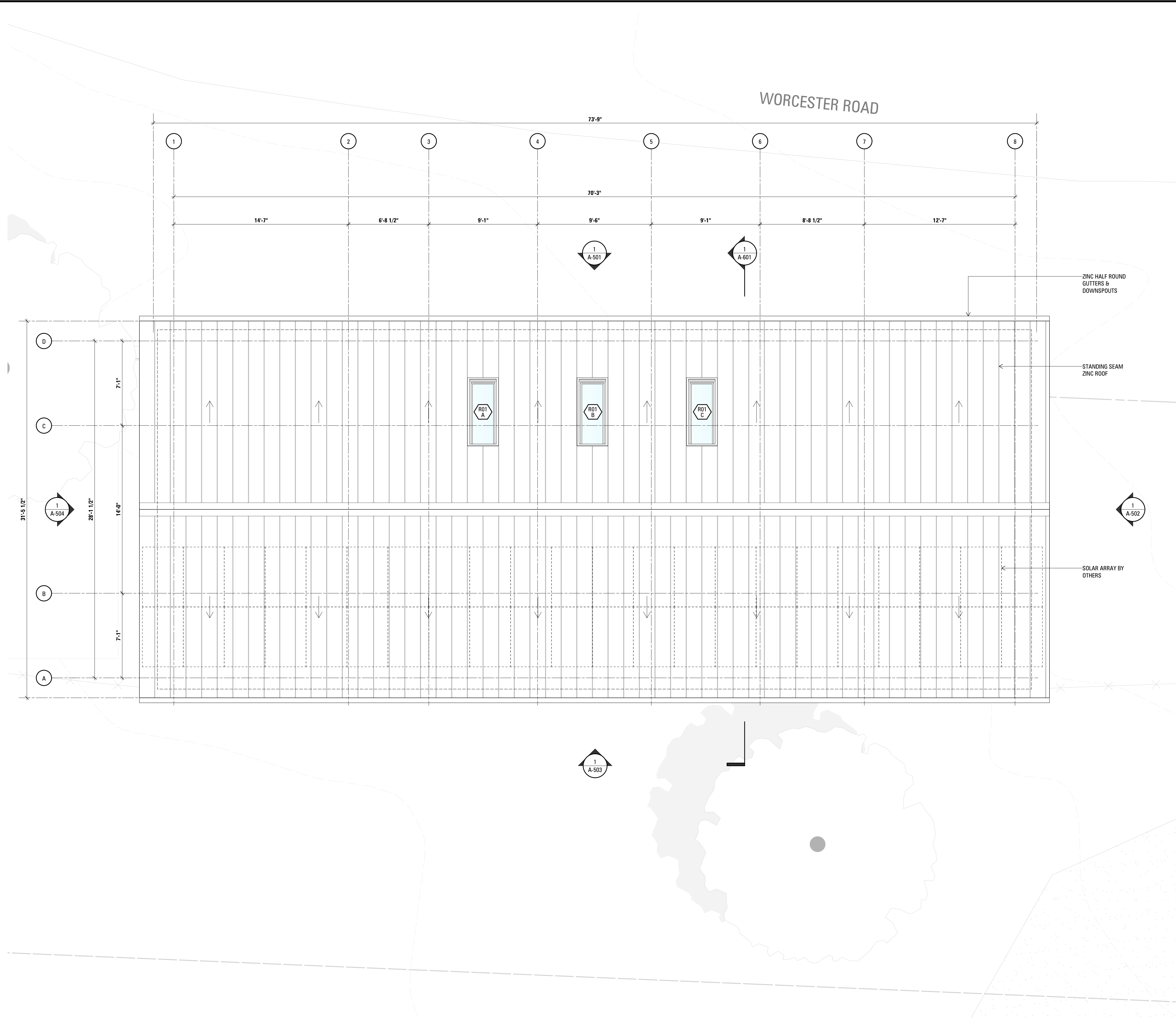
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**CONSTRUCTION PLAN:  
 2ND FLOOR**

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**CONSTRUCTION PLAN:  
 2ND FLOOR**  
 SCALE 1/4" = 1'-0" **1**

SHEET NUMBER  
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**CONSTRUCTION PLAN:  
ROOF**  
SCALE 1/4" = 1'-0" **1**

- CONSTRUCTION NOTES**
1. CONTRACTOR RESPONSIBLE TO VIF ALL DIMENSIONS.
  2. WOOD FLOORING TO BE SALVAGED / MAINTAINED WHERE POSSIBLE, PATCH AND REPAIR AS NEEDED.
  3. PROVIDE MIN 3" THERMAL MINERAL WOOL INSULATION BETWEEN ALL FLOOR JOISTS AT BASEMENT CEILING, PAINT INSULATION AND FLOOR JOISTS AS SPECIFIED BY ARCHITECT.
  4. PROVIDE SOUND ATTENUATING BATT INSULATION AT ALL NEW POWDER ROOM, BATHROOM, AND LAUNDRY ROOM PARTITIONS.

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**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA
	EXG CONSTRUCTION
	EXG CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	OVERHEAD
	HIDDEN BELOW
	EXG DOOR
	NEW DOOR
	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	WALL TYPE INDICATOR (ALL WALLS TYPE 'A', UNO)
	ELECTRICAL METER
	GAS METER
	WATER METER
	ELECTRICAL PANEL
	BATH EXHAUST FAN; REFER TO DRAWING FOR SPECIFICATIONS
	COMBINATION SMOKE-CARBON MONOXIDE DETECTOR

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SHEET TITLE  
**CONSTRUCTION PLAN:  
ROOF**

SEAL AND SIGNATURE

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SHEET

SHEET NUMBER

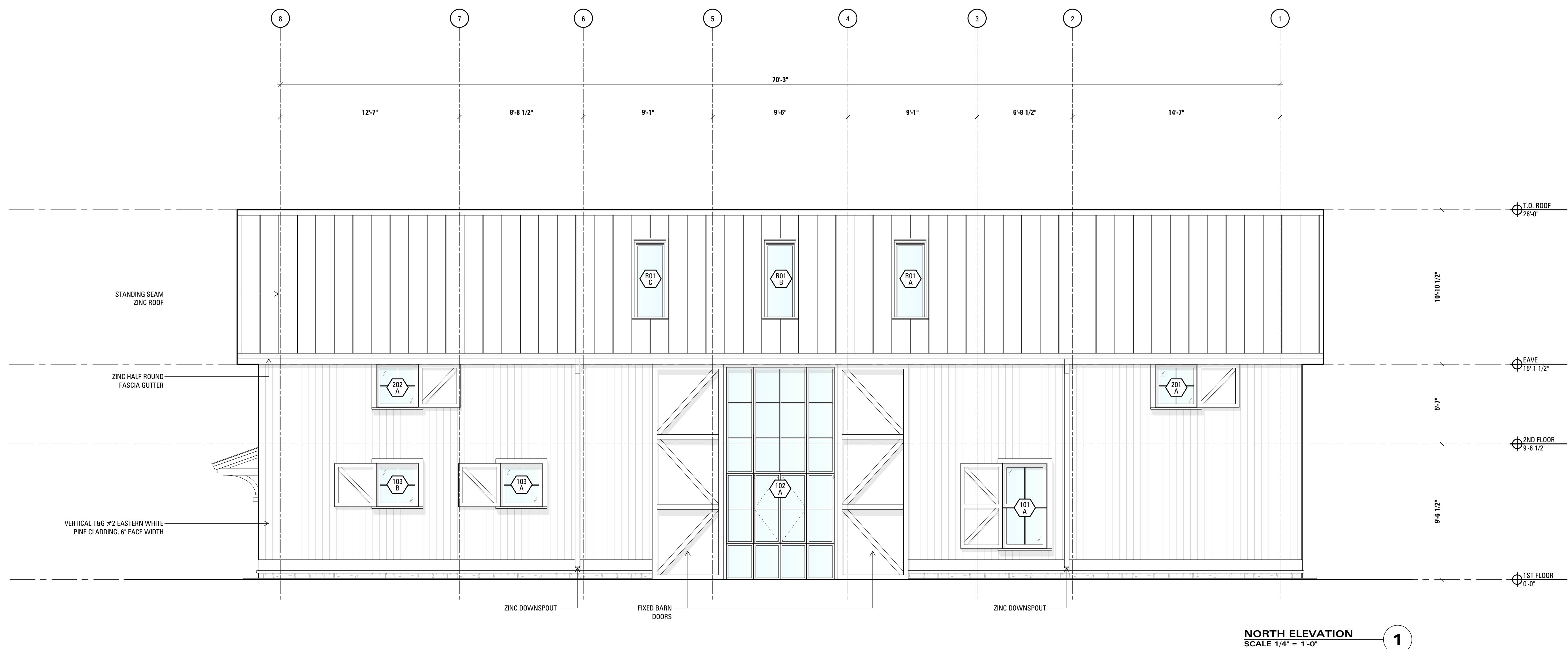
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**NORTH ELEVATION**  
SCALE 1/4" = 1'-0" **1**

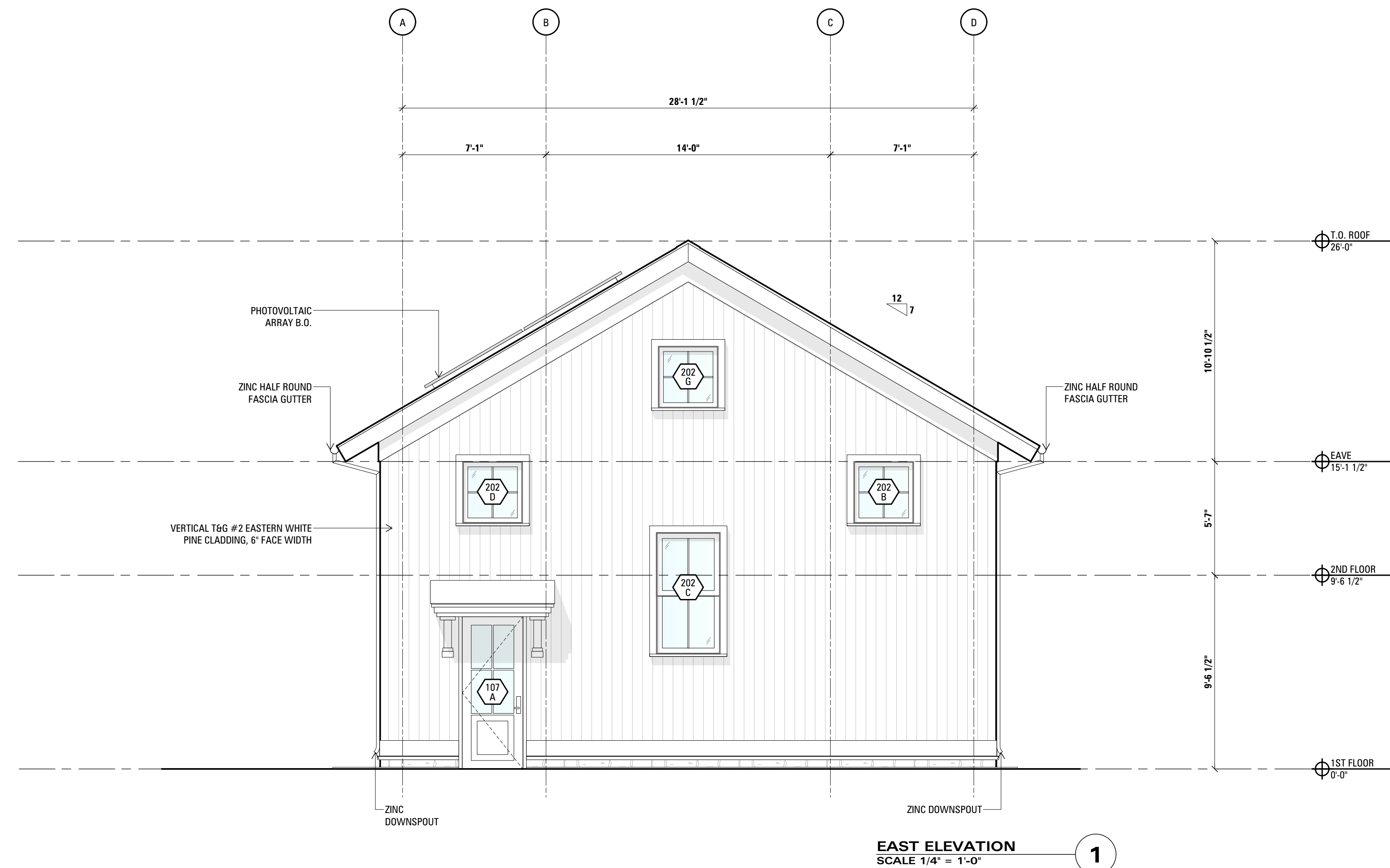
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**NORTH ELEVATION**

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	SHEET

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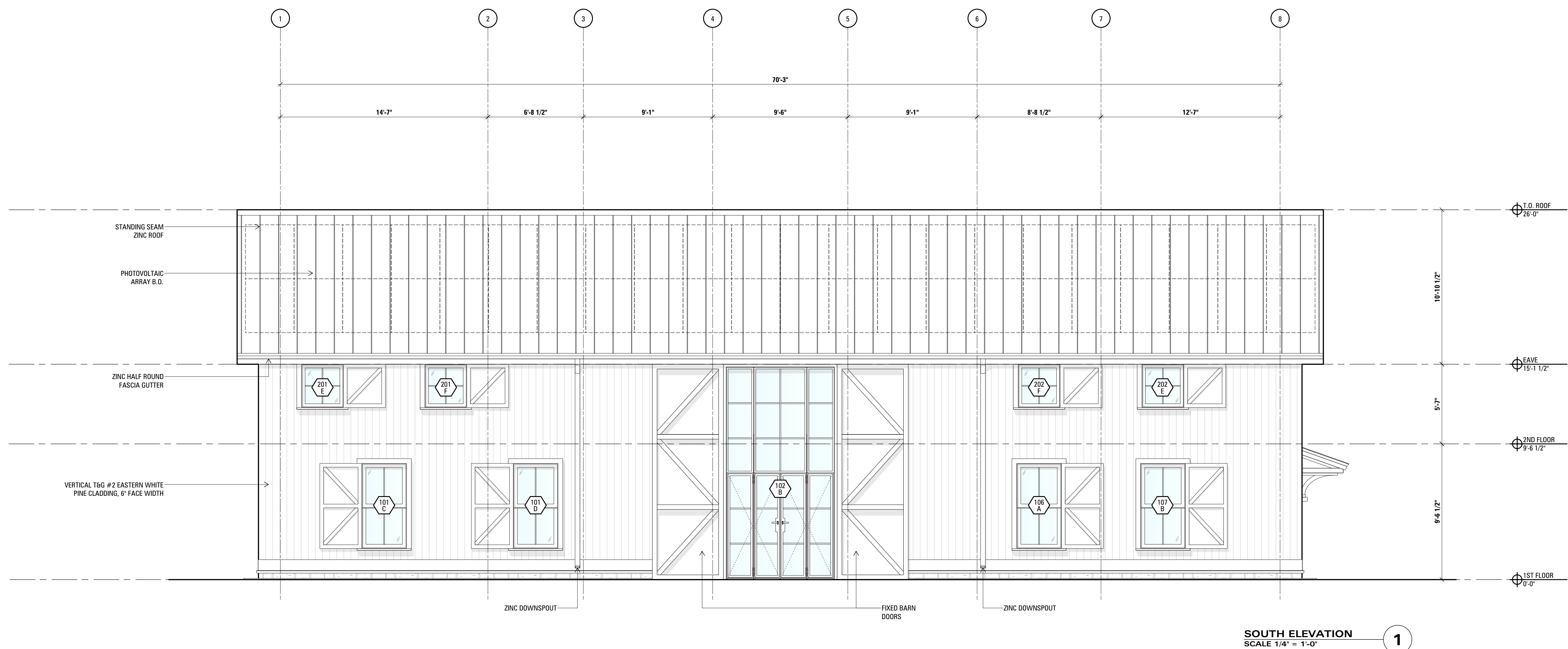


**EAST ELEVATION**  
SCALE 1/4" = 1'-0"

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**EAST ELEVATION**

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**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0" **1**

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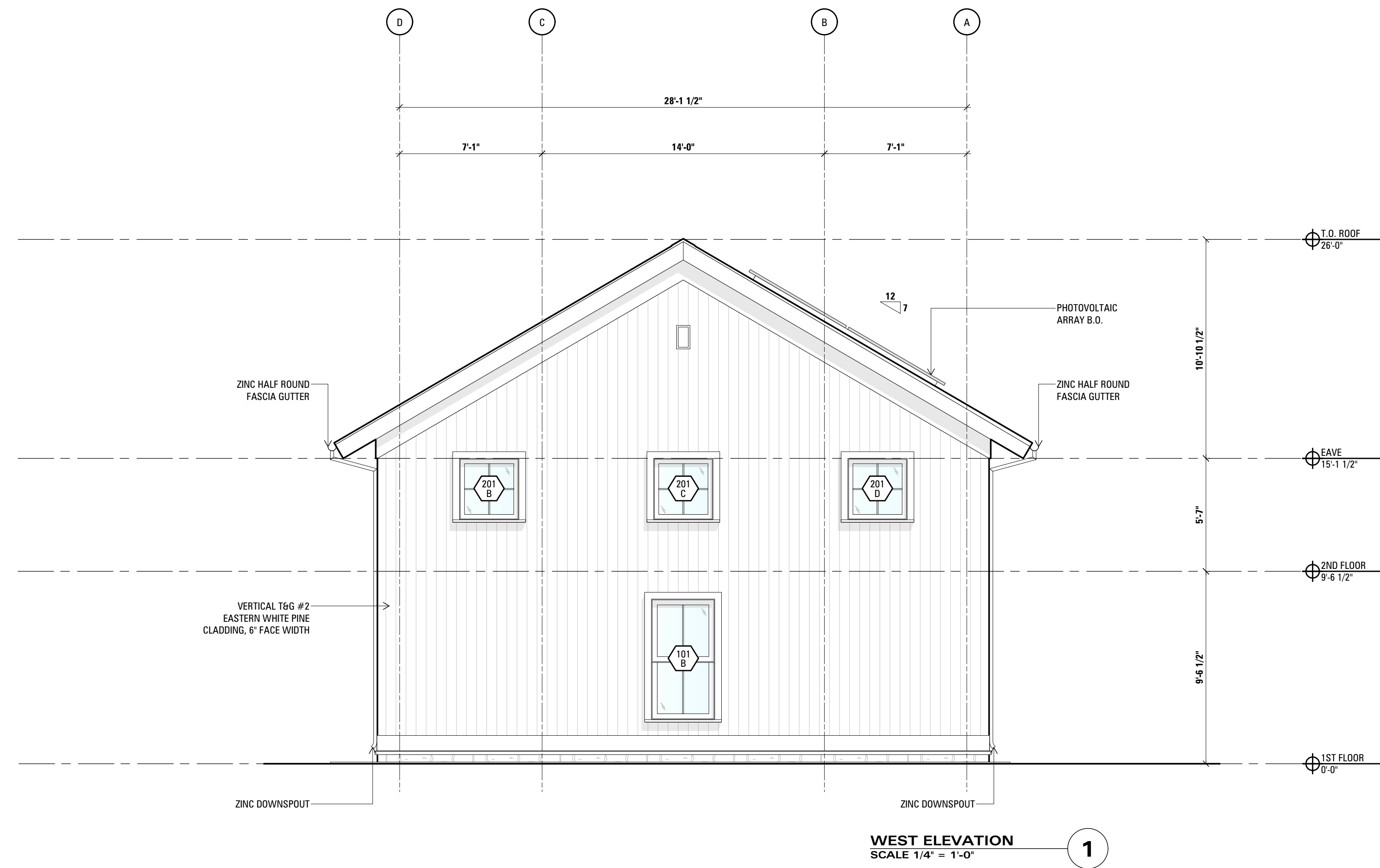
**SOUTH ELEVATION**

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	(PROJ #)
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SHEET NUMBER	SHEET

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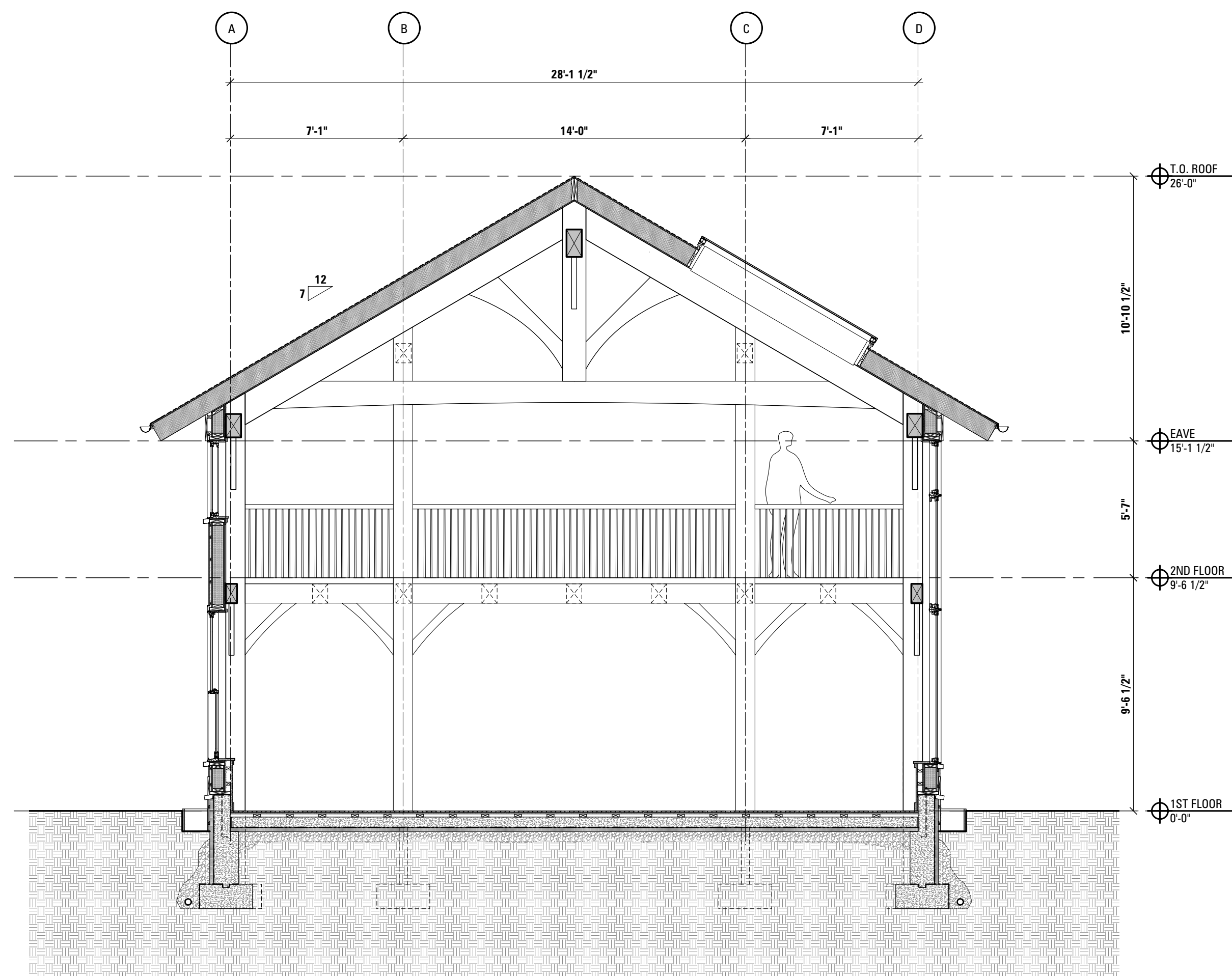
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SHEET TITLE  
**WEST ELEVATION**

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	(PROJ #)
	DRAWN BY
	REVIEWED BY TC
SHEET NUMBER	SHEET

**A-504.00**



**CONSTRUCTION:  
SECTION**  
SCALE 1/4" = 1'-0" **1**

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**CONSTRUCTION:  
SECTION**

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	DRAWN BY _____ (PROJ #)
	REVIEWED BY _____ TC
	SHEET _____