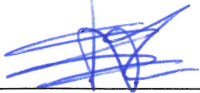


Town of Washington Inland Wetlands Commission

APPLICATION TO MODIFY AN APPROVED PERMIT

1. Address of Permitted Activity: 157 Calhoun Street
2. Name of Property Owner: The Premier Trust
3. Granted Permit # IW-21 - 54 Approval Date: 11-10-2021 Granted for: 2 years
4. Mailing Address of Property Owner:
4465 South Jones Boulevard, Las Vegas, NV 89103
5. Property Owner's Phone Number: 860-354-9346 Email: _____
6. Authorized Agent: Arthur H Howland & Associates, P.C. Letter of Authorization? Yes No
7. Agent's Phone Number: 860-354-9346 Email: pszymanski@ahhowland.com
8. Brief Discussion of Permitted Activity(s): Proposed guest house that was previously approved for 778 s.f and we are now proposing that it will be 1110 sf. with a footprint of 36 x 36. This will also include a deck/porch. A Sanitary system is proposed with other related appurtenances as shown on maps OSD.1, SDS.1 & SES.2
9. Per Section 8.08.b of the Inland Wetlands & Watercourses Regulations please provide on a separate sheet:
 - a. reasons for and nature of all proposed revisions
 - b. assessment of the potential increase or diminished impact to the wetlands, watercourses, and/or to the regulated area due to the proposed revision
 - c. revised site plan or map
 - d. revised sequence of construction
 - e. revised erosion and sedimentation control plan (if applicable)
 - f. any other pertinent information
10. This application must be completed in its entirety, signed by the property owner and supporting documents: 1) Attached required information, 2) Yellow Mandatory Land Use Pre-Application Form signed by the property owner, written approval from the conservation easement holder, if applicable, 3) Agent Authorization Letter, if applicable, and 4) \$60 Fee – per Section 9.01 of the Inland Wetlands & Watercourses Regulations.

The undersigned property owner consents to necessary and proper inspections of the above mentioned property by the IWC and/or its agent at reasonable times, both before and after action on this application:



1-6-2022

Signature of Property Owner (live ink)

Date

Office Use: Approved Permit: IW-____ - ____ Fee: \$____ Check #____ Date: ____ Cash____

Received by: _____ Date: _____ Scanned_____

L:\Application Packets – Scanned\Inland Wetland Forms\IWC to Modify Approved Permit



CIVIL ENGINEERS
LAND SURVEYORS
SOIL SCIENTISTS
LAND PLANNERS

January 5, 2022

Town of Washington, Land Use
2 Bryan Hall Plaza
Washington, Connecticut 06794

Re: 157 Calhoun Street, Washington, Connecticut

Dear Commission Members,

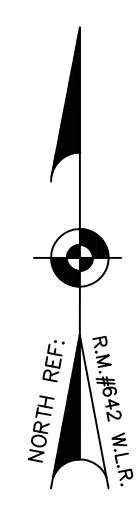
We are formally requesting a modification to Wetlands permit #IW-21-54 for the Premier Trust, Inc. for the guest house. The guest house is going to have a footprint of 36' x 36' which will include a deck/porch. The original size was 778 s.f. and we are now proposing 1,110 s.f.

I am enclosing the revised Proposed Overall Site Development Map (OSD.1), Proposed Guest House Sanitary Plan (SDS.2) and Sedimentation & Erosion Control Plan (SES.1) for your review.

Please feel free to contact me with any questions, comments and/or concerns you may have.

Sincerely,

Paul Szymanski, P.E.



1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
 2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND & ASSOC., PC SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND & ASSOC., PC SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:
 -REVISED 11/5/2021 - PER WETLANDS COMMENTS
 -REVISED 12/20/2021 - NEW GUEST HOUSE
 FOOTPRINT

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on site or in the area shown. The size, location, and existence of all underground features must be field verified by the appropriate providers prior to construction Call Before You Dig, 1-800-922-4455.

ARTHUR H. HOWLAND & ASSOCIATES, P.C.
 CIVIL ENGINEERS • LAND SURVEYORS
 SOIL SCIENTISTS • LAND PLANNERS

143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06776
 PHONE: (860) 354-9348 • FAX: (860) 354-4419
 WEB: WWW.AHAWLAND.COM

Proposed Overall Site Development Plan

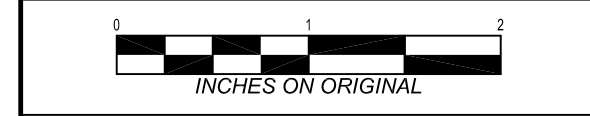
for
The Premier Trust Inc.

Tax Map 5 Block 10 Lot 20
 Area = 402,644 S.F. / 9.243 Ac.

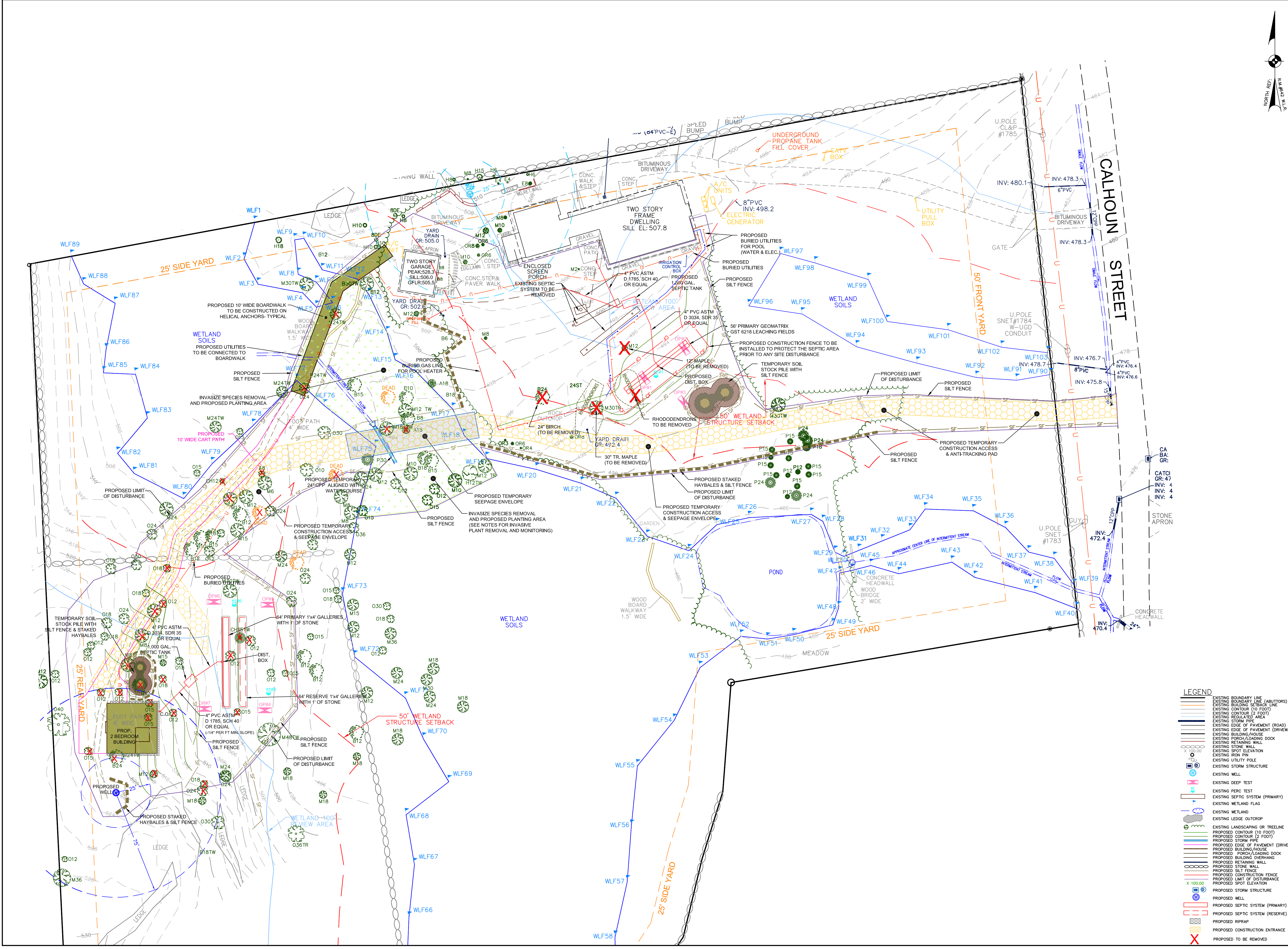
157 Calhoun Street
 Town of Washington
 County of Litchfield
 State of Connecticut

DATE: **October 1, 2021**

SCALE: **1" = 30'**



SHEET: **OSD.1**



LEGEND

- EXISTING BOUNDARY LINE (ADJUTORS)
- EXISTING BOUNDARY LINE (SUBJUTORS)
- EXISTING CONTOUR (10 FOOT)
- EXISTING CONTOUR (2 FOOT)
- EXISTING REGULATED AREA
- EXISTING STORM PIPE
- EXISTING EDGE OF PAVEMENT (ROAD)
- EXISTING EDGE OF PAVEMENT (DRIVEWAY)
- EXISTING BUILDING/HOUSE
- EXISTING PORCH/LANDING DOCK
- EXISTING RETAINING WALL
- EXISTING SPOT ELEVATION
- EXISTING IRON PIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURE
- EXISTING WELL
- EXISTING DEEP TEST
- EXISTING PERC TEST
- EXISTING SEPTIC SYSTEM (PRIMARY)
- EXISTING WETLAND FLAG
- EXISTING WETLAND
- EXISTING LEDGE OUTCROP
- EXISTING LANDSCAPING OR TREELINE
- PROPOSED CONTOUR (10 FOOT)
- PROPOSED CONTOUR (2 FOOT)
- PROPOSED STORM PIPE
- PROPOSED EDGE OF PAVEMENT (DRIVEWAY)
- PROPOSED BUILDING/HOUSE
- PROPOSED PORCH/LANDING DOCK
- PROPOSED RETAINING WALL
- PROPOSED STONE WALL
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SPOT ELEVATION
- PROPOSED STORM STRUCTURE
- PROPOSED WELL
- PROPOSED SEPTIC SYSTEM (PRIMARY)
- PROPOSED SEPTIC SYSTEM (RESERVE)
- PROPOSED RIPRAP
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED TO BE REMOVED

PROJECT DESCRIPTION:

A GUEST HOUSE IS PROPOSED AND WILL REQUIRE THE INSTALLATION OF A SEPTIC SYSTEM. SEE SHEET SDS.1 FOR ADDITIONAL DETAILS ON THE MAIN HOUSE SEPTIC SYSTEM.

MAIN HOUSE SEPTIC DESIGN CRITERIA

- 2 NUMBER OF TOTAL BEDROOMS
- 10 PERCOLATION RATE (MINUTES PER INCH)
- 48 DEPTH TO RESTRICTIVE LAYER (INCHES)
- 62 AVERAGE DEPTH TO RESTRICTIVE LAYER (INCHES)
- 14.4 HYDRAULIC GRADIENT (%)

MLSS ANALYSIS:

- 16 HYDRAULIC FACTOR (HF)
- 1.0 FLOW FACTOR (FF)
- 1.0 PERCOLATION FACTOR (PF)
- MLSS = HF x FF x PF
- 16 LF LEACHING SYSTEM SPREAD REQUIRED
- 100% OF MINIMUM LEACHING SYSTEM SPREAD PROVIDED

PROPOSED SYSTEM DESIGN:

- 64 LINEAL FEET OF 4 FEET WIDE BY 1 FOOT HIGH CONCRETE OR PLASTIC GALLERIES. 1 FOOT OF STONE SHALL BE PLACED ON THE SIDES OF THE GALLERIES AND ON THE ENDS OF THE GALLERY ROWS.
- 375 EFFECTIVE LEACHING AREA REQUIRED (SQUARE FEET)
- 389 EFFECTIVE LEACHING AREA PROVIDED (SQUARE FEET)
- (66 LF x 5.9 S.F./LF = 389.4 SF PROVIDED)

100% OF REQUIRED EFFECTIVE LEACHING AREA IS SUPPLIED

1,000 SEPTIC TANK VOLUME (GALLONS)

GENERAL NOTES:

1. GRASS, ORGANICS, FILL AND ALL TOPSOIL IN THE PRIMARY LEACHING AREA ARE TO BE REMOVED PRIOR TO PLACEMENT OF SELECT FILL. AREA IS TO BE SCARIFIED AFTER STRIPPING TOPSOIL. HEAVY EQUIPMENT IS TO BE KEPT OUT OF THE PROPOSED SANITARY DISPOSAL SYSTEM AREAS.
2. USE APPROVED 2 COMPARTMENT SEPTIC TANK PLACED LEVEL WITH A MINIMUM OF 6 INCHES OF COVER. (H-20 LOADING IF PLACED UNDER DRIVE OR PARKING AREA.) TANK COVERS ARE TO BE EXTENDED TO GRADE AS REQUIRED. ALL NEWLY INSTALLED TANKS SHALL HAVE AN APPROVED NON-BYPASS EFFLUENT FILTER AT THE OUTLET.
3. LARGE TUBS AND GARBAGE GRINDERS REQUIRE ADDITIONAL SEPTIC TANK LIQUID CAPACITY AND SHOULD BE SIZED ACCORDINGLY. GARBAGE GRINDERS ARE NOT RECOMMENDED.
4. SET ALL DISTRIBUTION BOXES ON MINIMUM 12 INCH TRENCH STONE BASE.
5. NO AIR CONDITIONING, REFRIGERATION, WATER SOFTENER RESIDUES, SURFACE OR SUBSURFACE DRAINS ARE TO BE CONNECTED TO THE SANITARY DISPOSAL SYSTEM.
6. FOOTING DRAINS AND OUTLETS ARE TO BE A MINIMUM OF 25' FROM THE SANITARY DISPOSAL SYSTEM.
7. IF CURTAIN DRAIN IS SPECIFIED, IT SHALL BE INSTALLED PER TYPICAL DETAIL AND DESIGN PLANS.
8. THERE ARE NO KNOWN OR PROPOSED WELLS WITHIN 75' OF THE PROPOSED SANITARY DISPOSAL SYSTEM LEACHING FIELDS.
9. SELECT FILL SHALL BE COMPRISED OF CLEAN SAND & GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING CONNECTICUT PUBLIC HEALTH CODE REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:
 1. THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE.
 2. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
 3. THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
 4. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

10. THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH NECESSARY SELECT FILL. THE TOPSOIL IN THE LEACHING SYSTEM AREA MUST BE REMOVED AND THE SUBSOIL SCARIFIED PRIOR TO SELECT FILL PLACEMENT UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOIL FROM OVER COMPACTION OR DAMAGE. SELECT FILL SHALL EXTEND A MINIMUM OF FIVE (5) FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING SYSTEM.
11. THE INSTALLER SHALL PROVIDE A SIEVE ANALYSIS FOR ALL SELECT FILL USED ON SITE.
12. THE DEPTH OF FILL SHOWN ON THE PROFILE IS BASED UPON THE PROFILE SECTION LINE ONLY. MORE FILL MAY BE REQUIRED IN OTHER AREAS OF THE SEPTIC SYSTEM.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF PROPER SOIL EROSION AND SEDIMENTATION CONTROL MEASURES PER THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
14. PRIOR TO THE START OF CONSTRUCTION THE PROJECT SURVEYOR IS TO SET A BENCHMARK IN THE SEPTIC AREA AND STAKE THE PROPOSED LEACHING FIELDS.
15. PERCOLATION TESTS HAVE BEEN CONDUCTED WITHIN 10 FEET OF THE CORRESPONDING DEEP TEST UNLESS OTHERWISE NOTED.
16. MODIFICATIONS TO THIS PLAN SHALL BE AUTHORIZED BY THE PROJECT ENGINEER AND APPROVED BY THE LOCAL DIRECTOR OF HEALTH.

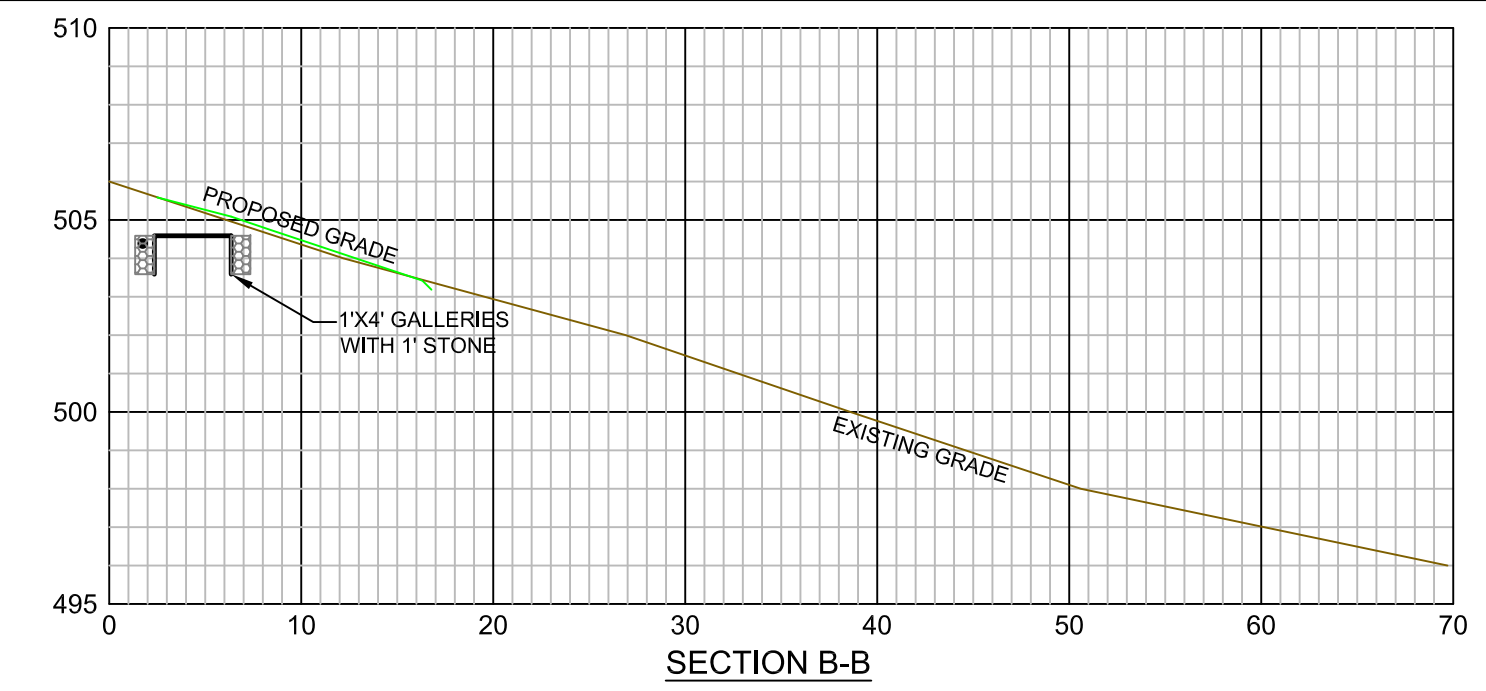
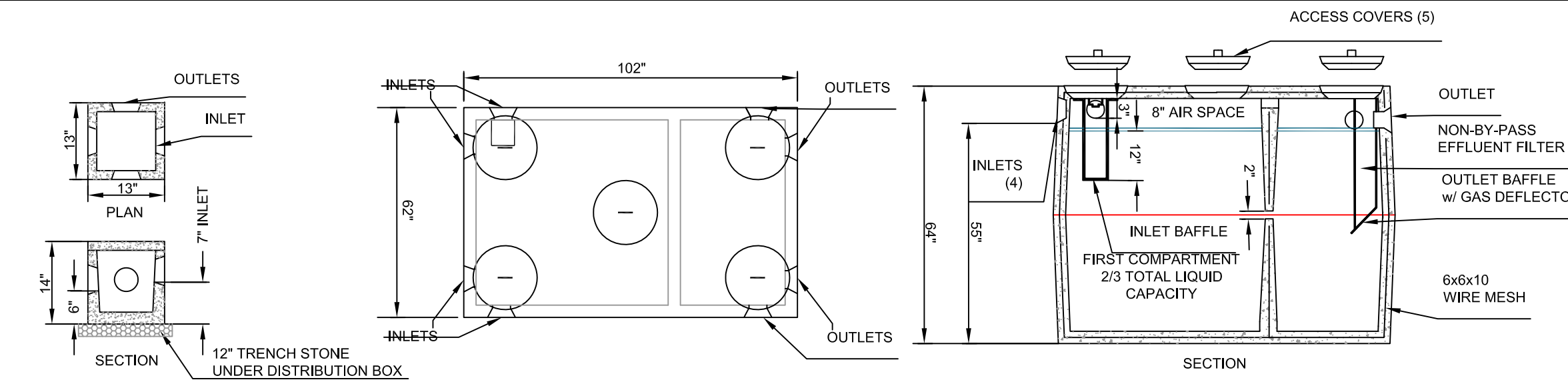
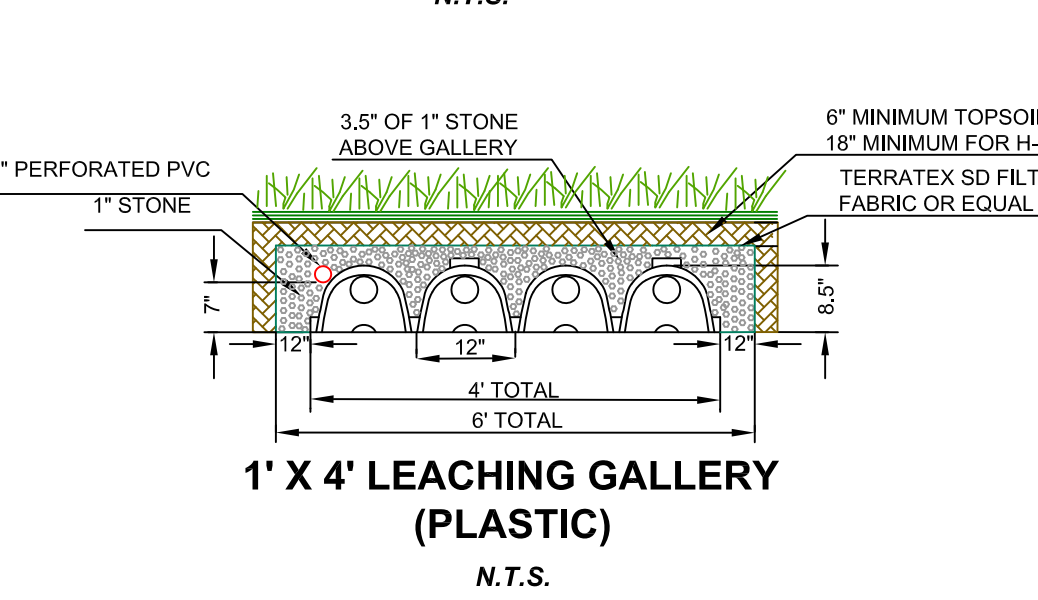
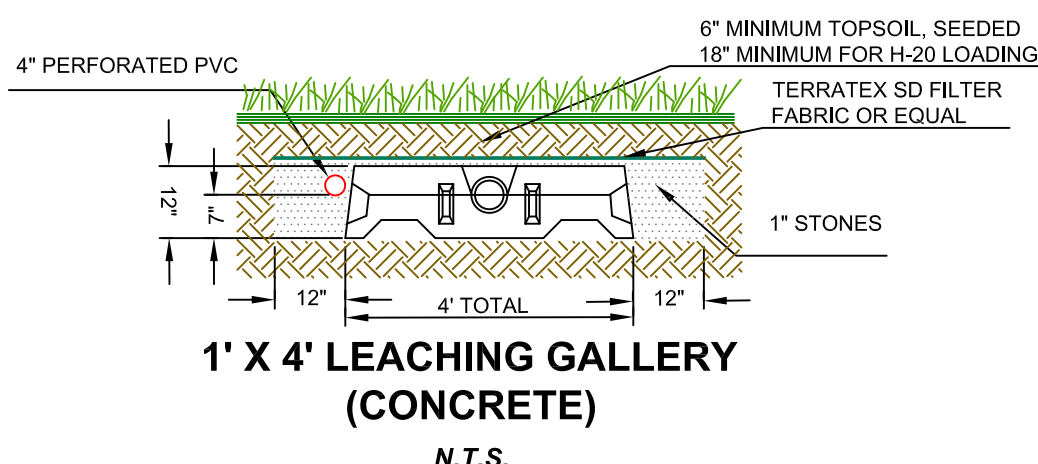
- SPECIFIC NOTES:**
1. THE WASHINGTON HEALTH DEPARTMENT REQUIRES AN AS-BUILT BY THE DESIGN ENGINEER.
 2. THE SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN SERVING THE GUEST HOUSE IS TO BE INSTALLED.

SOIL INSPECTION RESULTS

OBSERVATION PIT: NO. 4	PERC HOLE #4
9/20/2021	DATE: 9/20/2021
0' - 10" TOPSOIL	DEPTH: 22' DEPTH OF REF. MARK= 2'
10' - 48" ORANGE BROWN FINE SAND LOAM	PRE-SOAK
48' - 72" MED. BROWN MOD. COMPACT FINE SAND LOAM	START TIME= 30 MINS.
NO LEDGE OBSERVED	END TIME= 11:45
NO MOTTLING OBSERVED	TIME(MINS.)
NO GROUNDWATER OBSERVED	DEPTH(INCHES)
NO ROOTS OBSERVED	0 7
	10 11.5
	20 13.5
	30 14.75
	40 16
	50 17
	60 18
	FINAL PERC. RATE= 10 MIN/INCH
OBSERVATION PIT: NO. 5	PERC HOLE #6
0' - 7" TOPSOIL	DEPTH: 30' DEPTH OF REF. MARK= 18'
7' - 36" ORANGE BROWN FINE SAND LOAM	PRE-SOAK
36' - 80" LT. BROWN FINE SAND LOAM	START TIME= 30 MINS.
NO LEDGE OBSERVED	END TIME= 11:46
NO MOTTLING OBSERVED	TIME(MINS.)
NO GROUNDWATER OBSERVED	DEPTH(INCHES)
NO ROOTS OBSERVED	0 0
	10 5.25
	20 8.75
	30 10.25
	40 DRY
	FINAL PERC. RATE= 7 MIN/INCH

SEPTIC ELEVATION TABLE

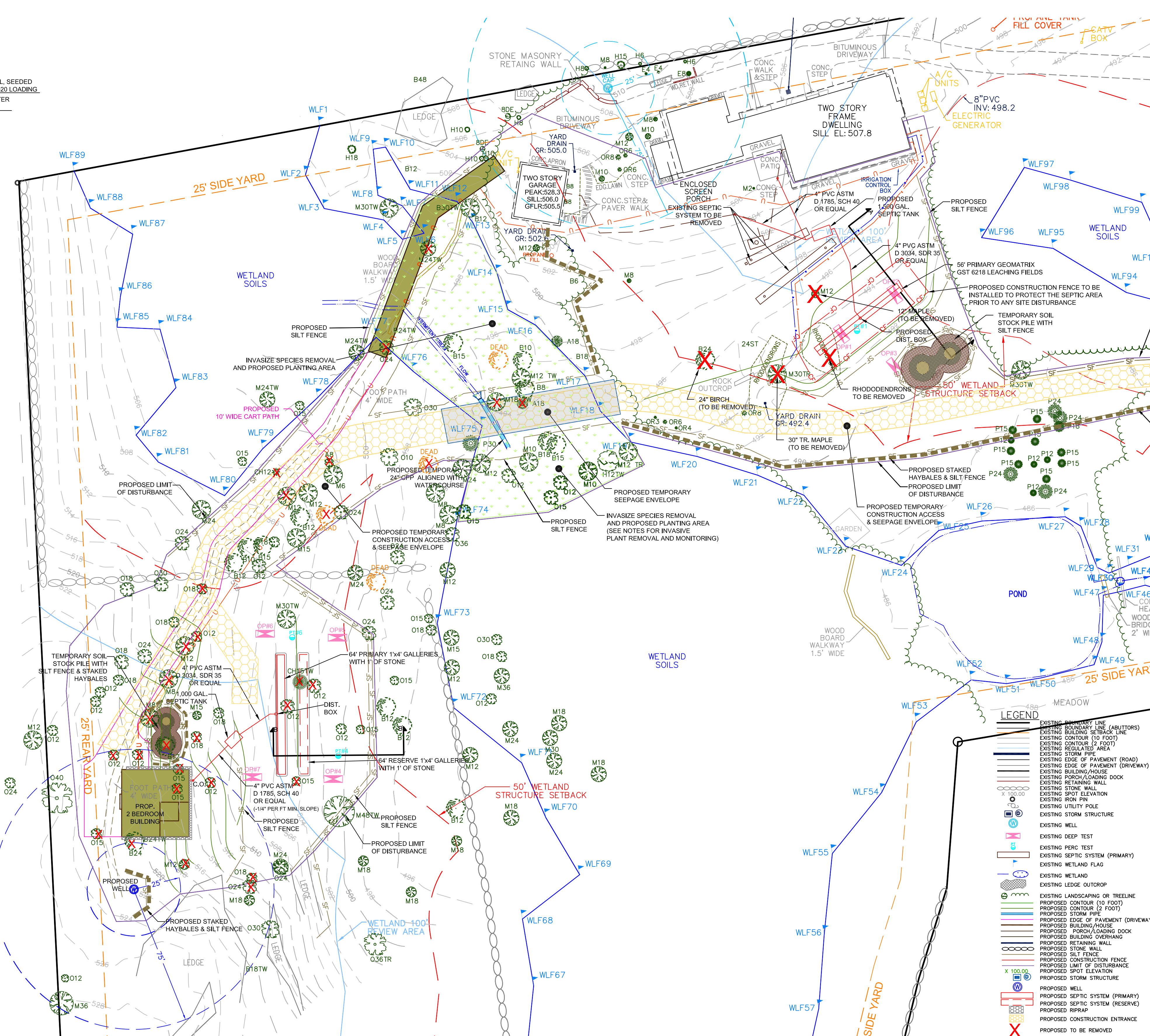
COMPONENT	MIN. INVERT ELEVATION (FT)
FLOW LINE AT NEW FOUNDATION	514.0
SEPTIC TANK INLET	508.75
SEPTIC TANK OUTLET	508.50
DISTRIBUTION BOX #1 INLET	504.3
DISTRIBUTION BOX #1 OUTLET	504.2
INVERT OF LEACHING FIELD	504.2
BOTTOM OF LEACHING FIELD	503.6



DISTRIBUTION BOX (CONCRETE)
N.T.S.

1,000 GALLON SEPTIC TANK (CONCRETE)
N.T.S.

NOTE: ALL ORGANICS AND TOPSOIL REMOVED SHALL BE REPLACED WITH SELECT FILL.



LEGEND

- EXISTING PROPERTY LINE (ABUTTERS)
- EXISTING BUILDING SETBACK LINE
- EXISTING CONTOUR (10 FOOT)
- EXISTING CONTOUR (2 FOOT)
- EXISTING EDGE OF PAVEMENT (ROAD)
- EXISTING EDGE OF PAVEMENT (DRIVEWAY)
- EXISTING BUILDING OVERHANG
- EXISTING PORCH/LOADING DOCK
- EXISTING RETAINING WALL
- EXISTING STONE WALL
- EXISTING SPOT ELEVATION
- EXISTING IRON PIN
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- REVISIONS:
- REVISED 11/5/2021 - PER WETLAND COMMENTS
 - REVISED 12/20/2021 - NEW GUEST HOUSE FOOTPRINT

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on file or in the area shown. The size, location, and existence of all underground features must be field verified by the appropriate providers prior to construction Call Before You Dig, 1-800-922-4455.

THIS MAP IS NOT AN A-2 SURVEY AND SHOULD NOT BE USED FOR ZONING COMPLIANCE. THIS PLAN IS TO BE USED TO DEMONSTRATE COMPLIANCE WITH THE STATE OF CONNECTICUT HEALTH CODE.

ARTHUR H. HOWLAND & ASSOCIATES, P.C.
CIVIL ENGINEERS • LAND SURVEYORS
SOIL SCIENTISTS • LAND PLANNERS
143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06778
PHONE: (860) 350-9348 • FAX: (860) 350-4419
WWW.ARHOWLAND.COM

Proposed Guest House Sanitary Disposal System Plan

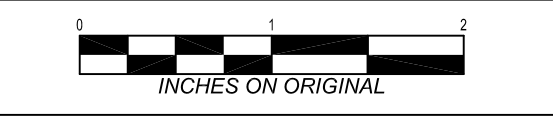
for
The Premier Trust Inc.

Tax Map 5 Block 10 Lot 20
Area = 402,644 S.F. / 9.243 Ac.

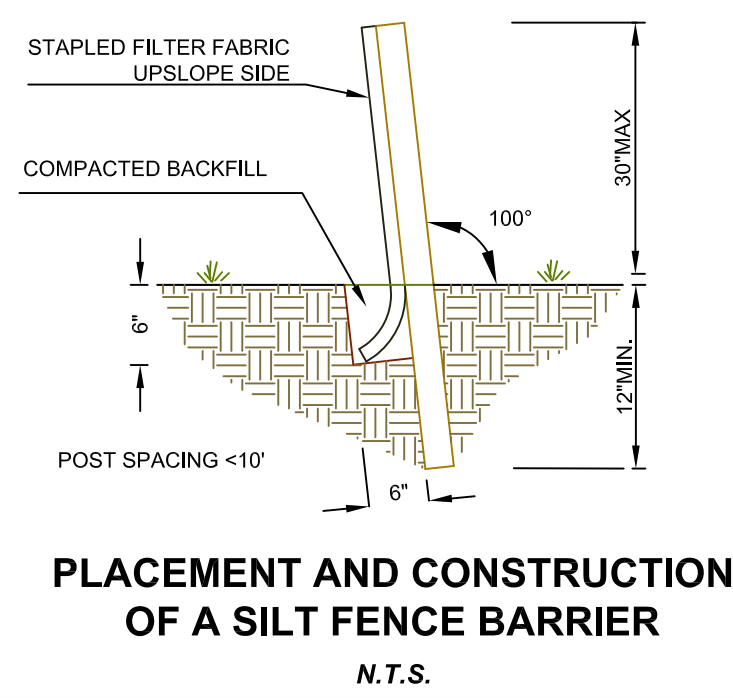
157 Calhoun Street
Town of Washington
County of Litchfield
State of Connecticut

DATE: **October 1, 2021**

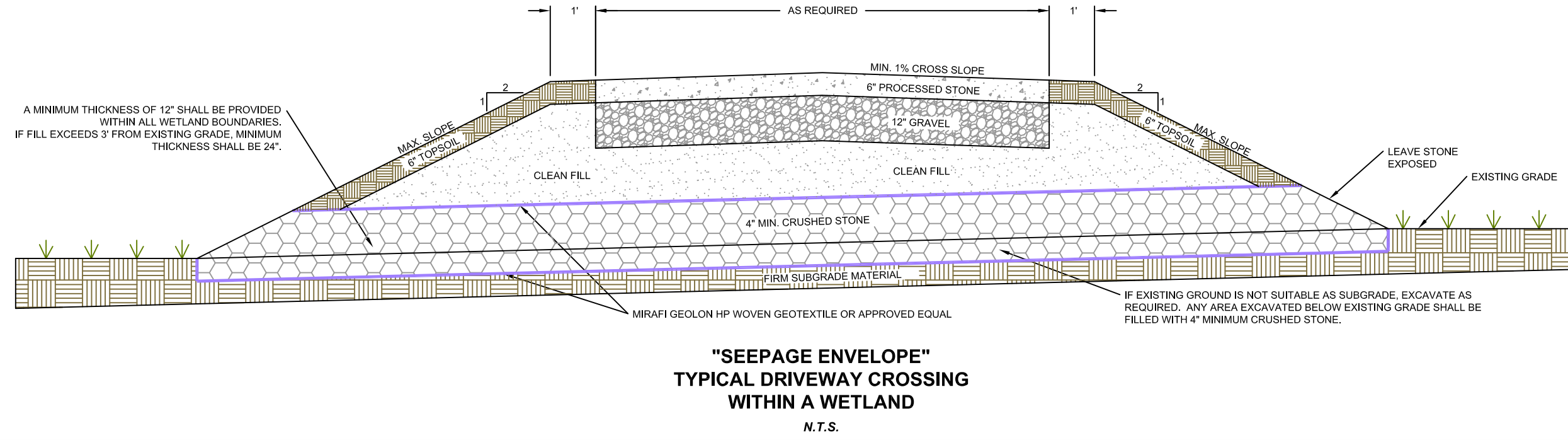
SCALE: **1" = 30'**



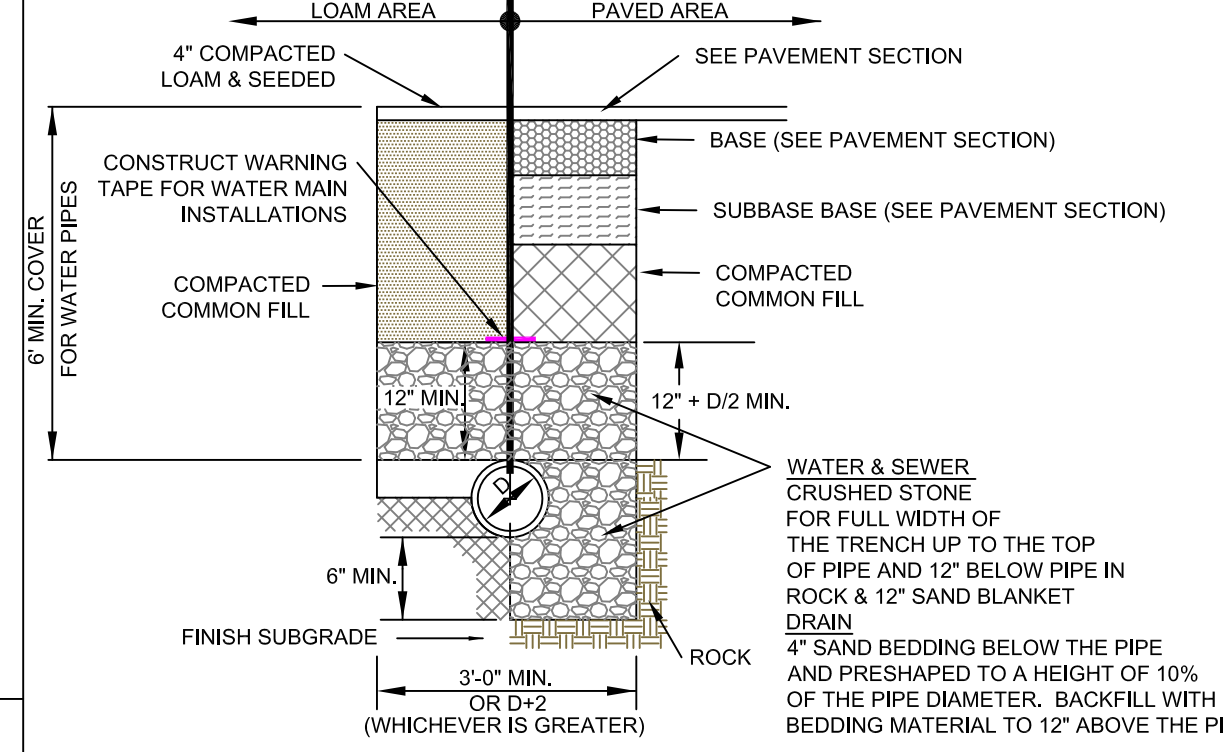
SHEET: **SDS.2**



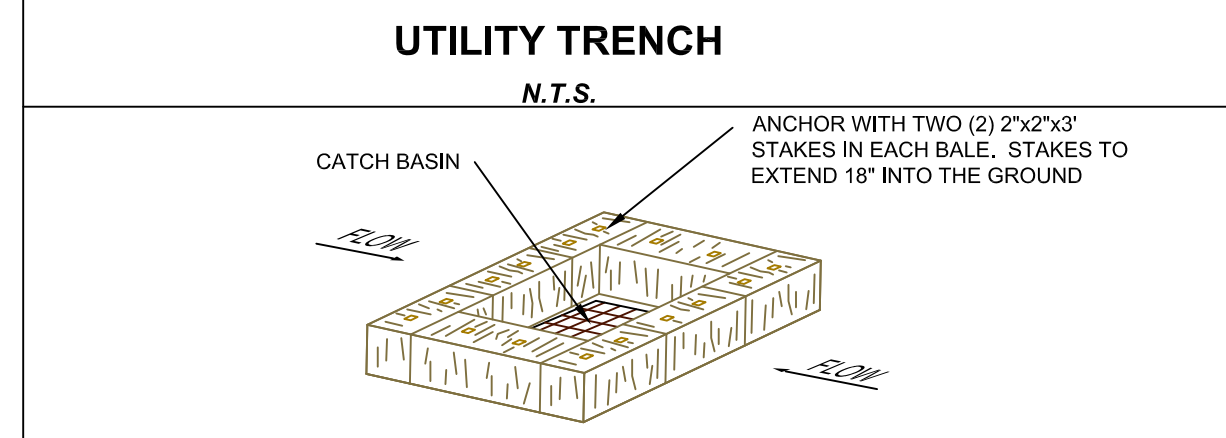
PLACEMENT AND CONSTRUCTION OF A SILT FENCE BARRIER
N.T.S.



"SEEPAGE ENVELOPE" TYPICAL DRIVEWAY CROSSING WITHIN A WETLAND
N.T.S.



- NOTES**
- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, & SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C.
 - CONSTRUCT SECTION FOR ALL WATERLINES, SANITARY SEWERS & SOLID DRAINAGE PIPES.
 - WATER LINE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH AQUARIUM WATER COMPANY ESTABLISHED RULES AND PROCEDURES

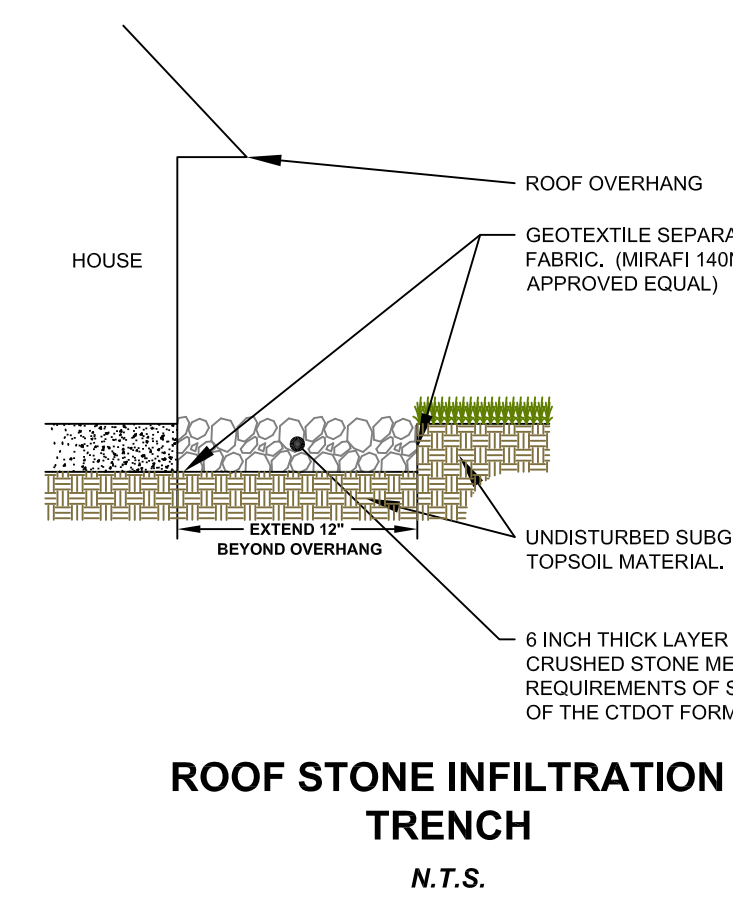


HAY BALE INSTALLATION AT CATCH BASIN
N.T.S.

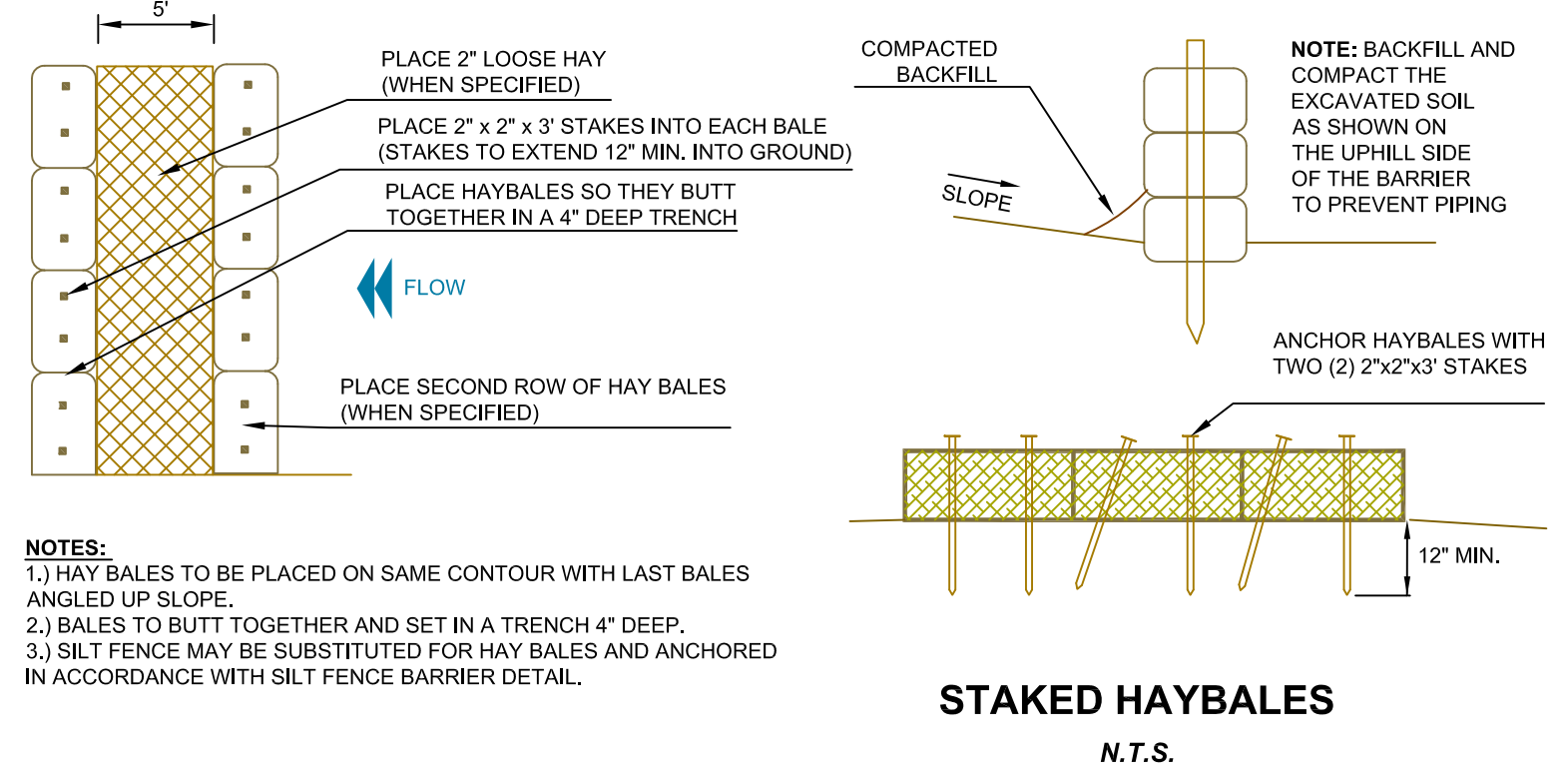
- SOIL EROSION AND SEDIMENTATION CONTROL PLAN**
- THIS PROJECT INVOLVES THE CONSTRUCTION OF A SINGLE FAMILY GUEST HOUSE, OTHER IMPROVEMENTS ALSO INCLUDED AS PART OF THIS PROJECT INCLUDE THE CONSTRUCTION OF A BOARDWALK, TEMPORARY CONSTRUCTION ACCESSWAY, SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR THE GUEST HOUSE AND ONE FOR THE MAIN HOUSE, GRADING, WATERCOURSE CROSSINGS, INVASIVE SPECIES REMOVAL & OTHER RELATED APPURTENANCES.
 - THE AREA OF THE PROJECT SITE IS APPROXIMATELY 9.2 ACRES, OF WHICH ABOUT 1.9 ACRES ARE EXPECTED TO BE DISTURBED.
 - SPECIAL CARE SHOULD BE TAKEN ON THIS SITE TO ENSURE THAT THE CONSTRUCTION FENCE, SILT FENCE AND/OR HAY BALES ARE REPLACED PROMPTLY IF DAMAGED.
 - THE CONSTRUCTION OF THE NEW GUEST HOUSE, BOARDWALK, AND RELATED APPURTENANCES ARE THE ONLY IMPROVEMENTS ASSOCIATED WITH THIS PROJECT.
 - ALL NECESSARY PERMITS SHALL BE ACQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - 1.6.1 SOIL EROSION AND SEDIMENT CONTROL MEASURES**
 - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ANY NECESSARY SURVEYING TO MARK BOUNDARY LINES AND/OR LIMITS OF CLEARING SHALL BE COMPLETED.
 - EROSION CONTROL MEASURES, AS SHOWN ON THE PLAN, SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SAID MEASURES ARE TO BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED AND ALL SEEDED AREAS HAVE ESTABLISHED GROWTH.
 - ANY MATERIAL STORAGE PILES OUTSIDE THE IMMEDIATE CONSTRUCTION AREA SHALL HAVE A SILT FENCE OR APPROVED EQUAL SURROUNDING THEM TO CONFINE THE MATERIAL AND POSSIBLE EROSION.
 - THE DISTURBANCE OF LAND SHALL BE AS MINIMAL AS PRACTICABLE. RESTABILIZATION OF ALL AREAS SHALL OCCUR AS SOON AS POSSIBLE. IF DISTURBED AREAS ARE EXPOSED FOR MORE THAN 30 DAYS, IT SHALL BE TEMPORARILY SEEDED PER SECTION 5-3 OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED. IN THE EVENT THAT CONSTRUCTION OCCURS DURING TIMES WHEN SEEDING CAN NOT BE CARRIED OUT, ERODIBLE AREAS SHALL BE MULCHED WITH HAY OR HAVE NETTING INSTALLED AND MAINTAINED TO PREVENT EROSION.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PRACTICES AS SET FORTH IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED.
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY. IF THE MEASURES ARE DAMAGED, THEY SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY.
 - IN ORDER TO PREVENT EROSION, EARTH SLOPES SHALL BE 2' (HORIZONTAL) TO 1' (VERTICAL) MAXIMUM. ALL 2(H)1(V) SLOPES SHALL BE STABILIZED WITH BIODEGRADABLE MATTING OR APPROVED EQUAL.
 - IN ORDER TO CONTROL SEDIMENT, TEMPORARY BARRIERS, UTILIZING STAKED HAY BALES OR SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. ANY TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
 - ANY REQUIRED CULVERTS OR DRAINAGE FACILITIES SHALL BE OF PROPER CONSTRUCTION SO AS TO PREVENT EROSION DURING AND AFTER CONSTRUCTION.
 - ADDITIONAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AFTER THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND A REPRESENTATIVE FROM THE TOWN SHALL BE PRESENT.
 - 1.6.2 CONSTRUCTION NOTES AND SEQUENCE FOR CONSTRUCTION OF PROPOSED GUEST HOUSE AND BOARDWALK**
 - OBTAIN ALL NECESSARY PERMITS.
 - FLAG THE LIMITS OF CONSTRUCTION, TEMPORARY CONSTRUCTION ACCESS BASELINE, AND TREE PROTECTION AREAS. ANY TREES WITHIN CONSTRUCTION AREA THAT ARE TO BE SAVED SHOULD BE PROTECTED WITH CONSTRUCTION FENCING.
 - HOLD PRECONSTRUCTION MEETING (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
 - HOLD TREE CUTTING MEETING.
 - INSTALL THE CONSTRUCTION ENTRANCE (1 DAY).
 - INSTALL EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLAN PRIOR TO CONSTRUCTION ACTIVITY. (1 WEEK) CONTACT TOWN OF WASHINGTON WETLANDS ENFORCEMENT OFFICER FOR REVIEW OF INSTALLED EROSION CONTROLS. ALLOW 48 HOURS NOTICE.
 - ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AFTER 1/4" RAIN EVENTS OR LARGER. REPAIR OR REPLACE EROSION CONTROLS AS NECESSARY (DURATION OF PROJECT).**
 - PHASE 1:**
 - INSTALL TEMPORARY CONSTRUCTION ACCESS ROAD TO PROPOSED GUEST HOUSE LOCATION. A TEMPORARY SEEPAGE ENVELOPE IS TO BE CONSTRUCTED IN THE AREA OF THE WETLANDS CROSSING. INSTALL THE 24" CPP TO ALIGN WITH THE EXISTING WATERCOURSE. (2 WEEKS)
 - CUT TREES WITHIN THE DEFINED CLEARING LIMITS AND REMOVE CUT WOOD. CHIP BRUSH AND SLASH, STOCKPILE CHIPS FOR FUTURE USE OR REMOVE OFF SITE (1 WEEK).
 - EXCAVATE ALL STUMPS LOCATED IN THE STRUCTURAL AREA AND REMOVE TO A DISPOSAL SITE OR STOCKPILE AREA TO BE CHIPPED. STUMPS IN NON-STRUCTURAL AREAS MAY BE GROUND IN PLACE OR CUT FLUSH WITH THE GROUND LEVEL AND LEFT IN PLACE IN ACCORDANCE WITH THE PLANS (1 WEEK).
 - STRIP ALL TOPSOIL WITHIN THE SLOPE LIMITS, STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS (1 WEEK).
 - MAKE ALL CUTS AND FILLS REQUIRED. ESTABLISH THE SUBGRADE FOR THE TOPSOIL AREAS AND PATHS. BENCH THE PROPOSED HOUSE AREA TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOTPRINT OF THE HOUSE FOR THE CONSTRUCTION ACTIVITIES (1 WEEK).
 - BEGIN CONSTRUCTION OF THE GUEST HOUSE. INSTALL SEPTIC SYSTEM AND WELL. PERMANENTLY SEED SEPTIC AREA IMMEDIATELY AFTER INSTALLATION. WITHIN TWO WEEKS OF ROOF COMPLETION, STONE SPLASH IN FILTRATION TRENCH SHALL BE INSTALLED SO THAT THE RUNOFF CAN BE APPROPRIATELY HANDLED PER THE PLAN. (6 MONTHS).
 - BEGIN CONSTRUCTION OF THE BOARDWALK. HELICAL PIER INSTALLATION AND BOARDWALK CONSTRUCTION SHOULD OCCUR DURING PERIOD IN WHICH THERE IS NO RAINFALL 48 HOURS PRIOR AND NO RAINFALL FORECAST 72 HOURS AFTER COMMENCEMENT (2 WEEKS). BOARDWALK IS TO BE CONSTRUCTED USING HELICAL PIERS.
 - CONSTRUCT DRAINAGE PER PLANS. INSTALL ALL UNDERGROUND UTILITIES TO WITHIN 5 FEET OF THE HOUSE AT THIS TIME (1 WEEK). UTILITIES ARE TO BE CONNECTED TO THE BOARDWALK WHEN CROSSING THE WETLANDS WITH ADEQUATE PROTECTION.
 - PREPARE SUB-BASE, SLOPES, PATHWAYS, AND ANY OTHER DISTURBANCE FOR FINAL GRADING (1 WEEK).
 - APPLY FINISHED SURFACE TO PATHWAYS. (1 WEEK).
 - PLACE TOPSOIL WHERE REQUIRED. COMPLETE ANY PROPOSED PERIMETER LANDSCAPE PLANTINGS (1 WEEK).
 - FINE GRADE, RAKE, SEED, AND MULCH (1 WEEK).
 - UPON SUBSTANTIAL COMPLETION OF THE GUEST HOUSE, COMPLETE THE BALANCE OF SITE WORK AND APPLY STABILIZATION MEASURES (I.E. TOPSOIL, SEEDING, SODDING, MULCHING, ETC.) TO DISTURBED AREAS. FOLLOW SECTION 5-3 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (1 WEEK).
 - INSPECT AND CLEAN DRAINAGE AS NEEDED (1 DAY).
 - CLEAN UP ANY TRAPPED SEDIMENT AND PLACE IN AN AREA THAT WILL ALLOW IT TO BLEND INTO THE LANDSCAPE. REMOVE SES CONTROLS AT PROPER TIMES. (ONLY AFTER ALL CONSTRUCTION AREAS ARE STABILIZED.) (1 DAY)
 - PHASE 2:**
 - CLEAN UP TEMPORARY CONSTRUCTION ACCESS ROAD WORKING FROM THE GUEST HOUSE TO WETLANDS. REMOVE THE SEEPAGE ENVELOPE, 24" CPP AT THE WATERCOURSE CROSSING AND TEMPORARY ACCESS WAY THROUGH THE WETLANDS. RESTORE ALL DISTURBED AREAS.
 - REMOVE INVASIVE SPECIES AS PER PLANS. SEE ADDITIONAL INVASIVE SPECIES NOTES ON SHEET SES.2.
 - INSTALL PROPOSED PLANTINGS PER LANDSCAPE ARCHITECT PLAN. (2 WEEKS)
 - CONSTRUCT PROPOSED SEPTIC SYSTEM TO SERVE THE MAIN HOUSE AND GARAGE. DISCONNECT THE EXISTING SEPTIC SYSTEM, PUMP AND CRUSH/REMOVE EXISTING MAIN HOUSE SEPTIC SYSTEM. COMPLETE FINAL GRADING, SEED AND HAY. (3 WEEKS)
 - AFTER SEPTIC AREA IS STABILIZED, REMOVE TEMPORARY CONSTRUCTION ACCESS WAY BACK TO THE ROAD. RESTORE ALL DISTURBED AREAS AND STABILIZE. (1 WEEK)
 - AFTER ALL DISTURBED AREAS ARE STABILIZED, REMOVE TEMPORARY PERIMETER EROSION CONTROLS (I.E. SILT FENCE, HAYBALES, ETC.) (3 DAYS).

1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:
REVISED 11/05/2021 PER WETLANDS COMMENTS

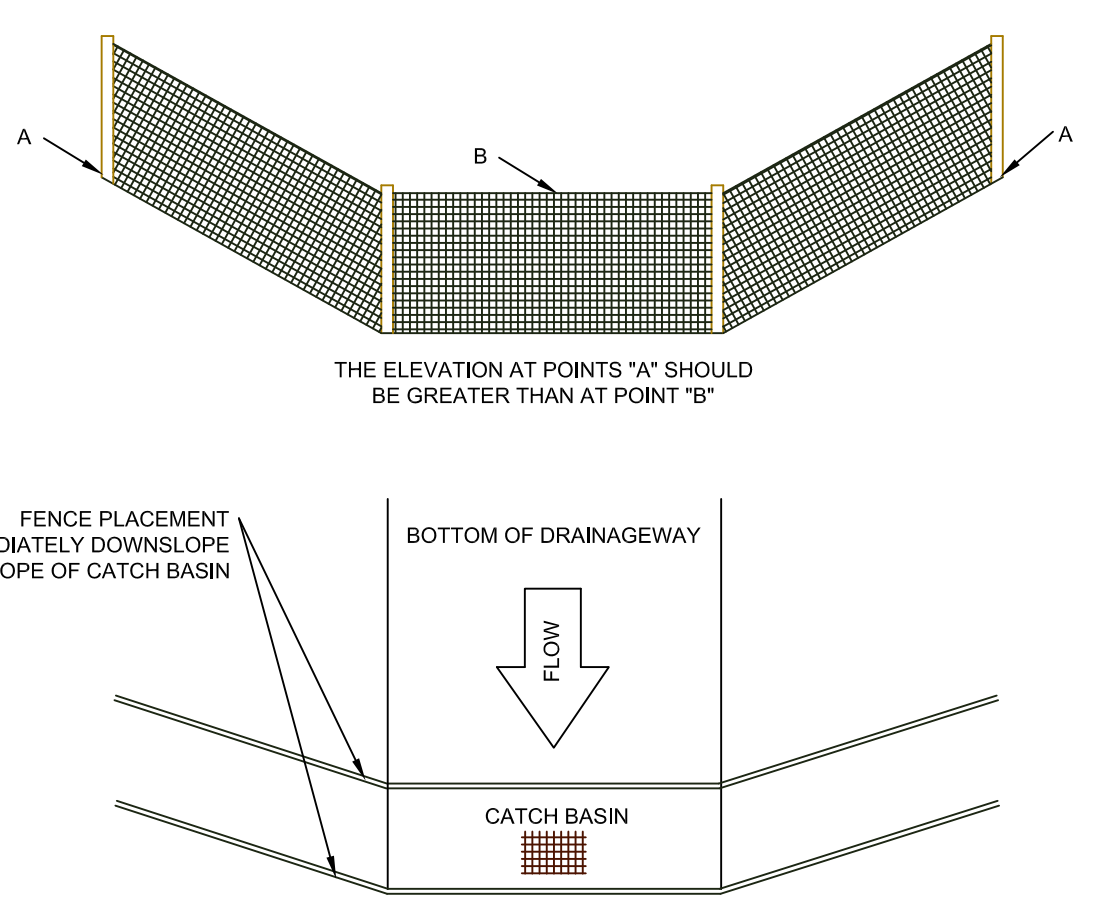


ROOF STONE INFILTRATION TRENCH
N.T.S.

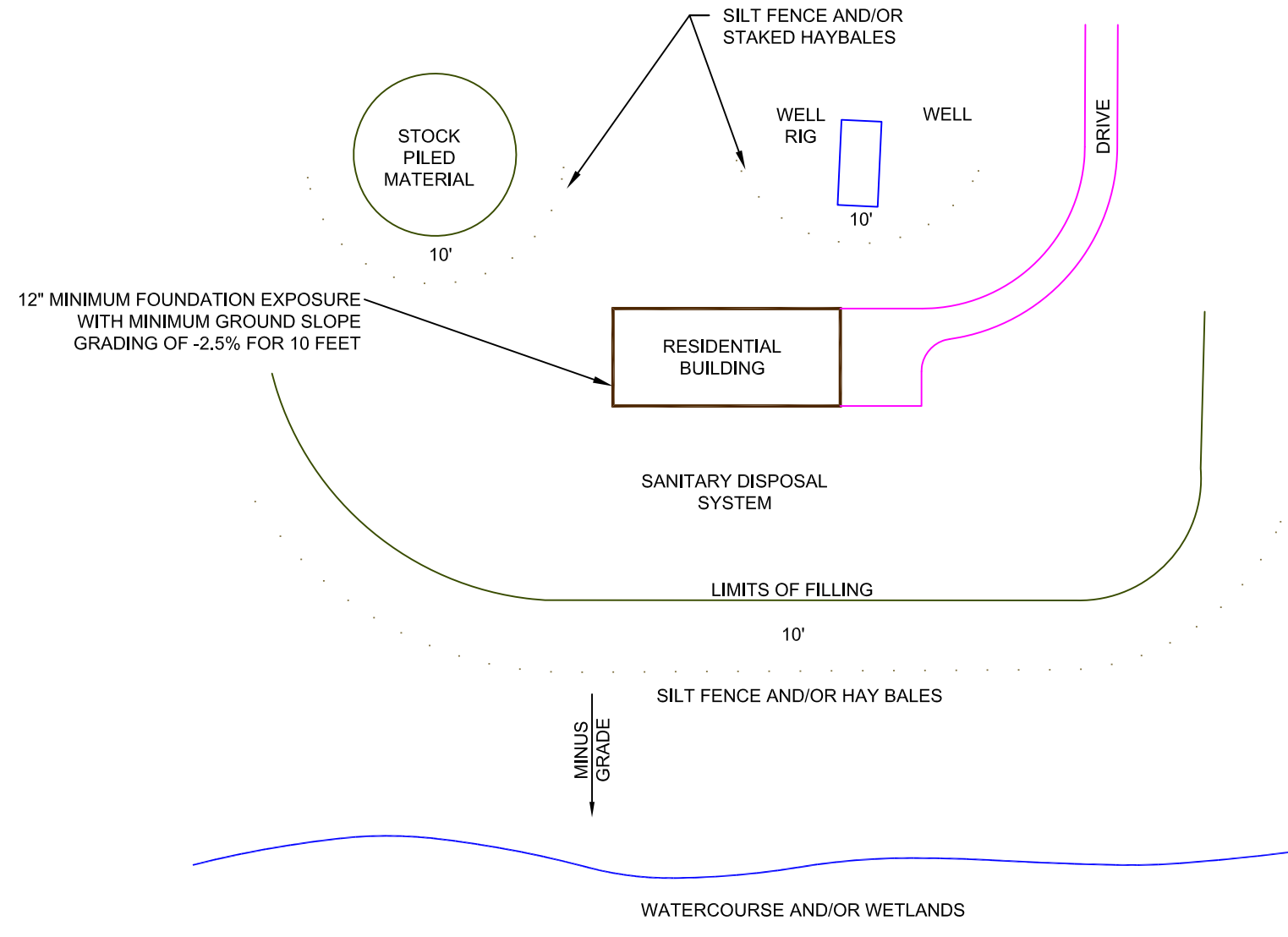


STAKED HAYBALES
N.T.S.

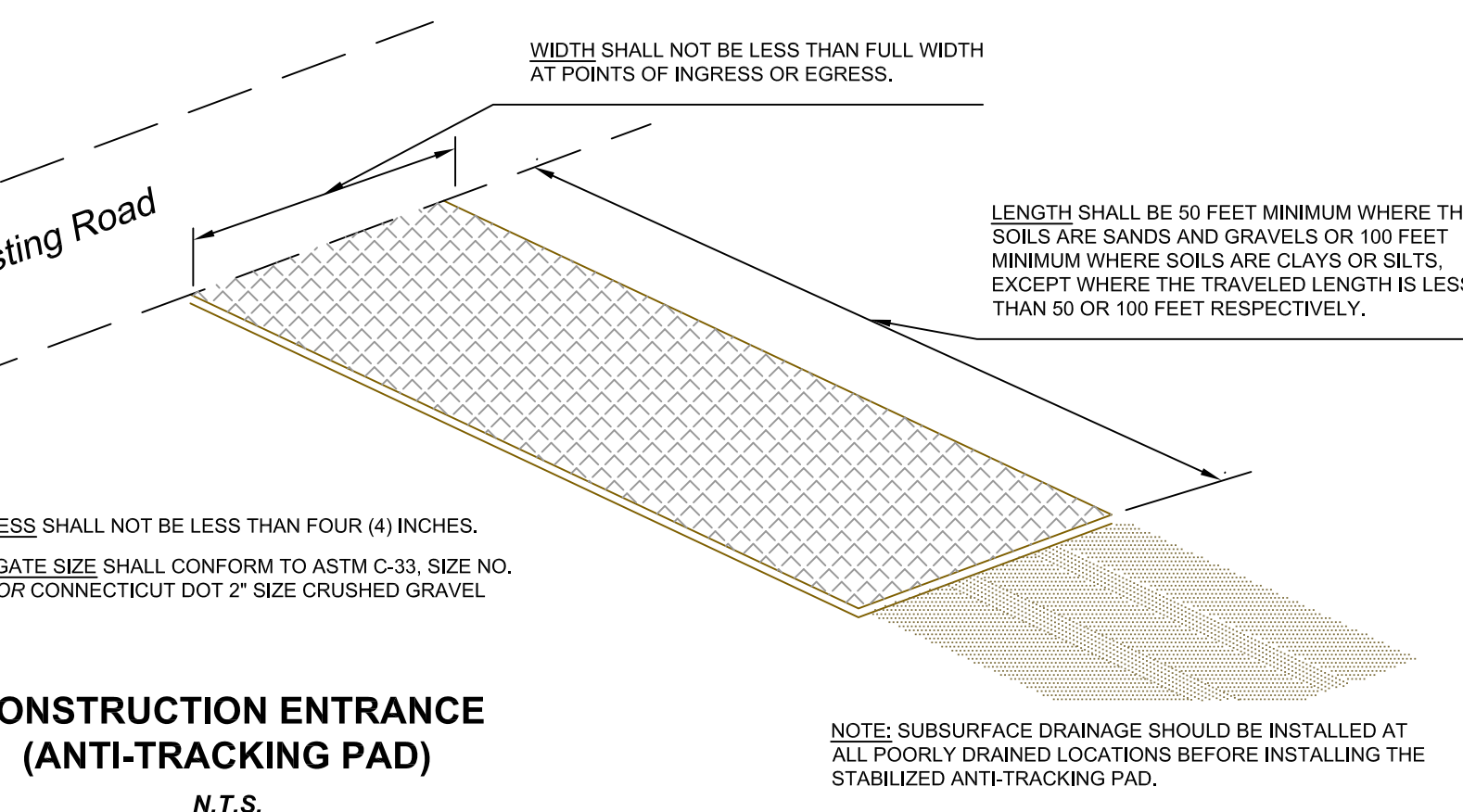
- NOTES:**
- HAY BALES TO BE PLACED ON SAME CONTOUR WITH LAST BALES ANGLED UP SLOPE.
 - BALES TO BUTT TOGETHER AND SET IN A TRENCH 4" DEEP.
 - SILT FENCE MAY BE SUBSTITUTED FOR HAY BALES AND ANCHORED IN ACCORDANCE WITH SILT FENCE BARRIER DETAIL.



TYPICAL PLACEMENT OF FILTER FABRIC OR HAYBALES IN DRAINAGEWAY ON SLOPING ROADS OR DRAINAGEWAY
N.T.S.



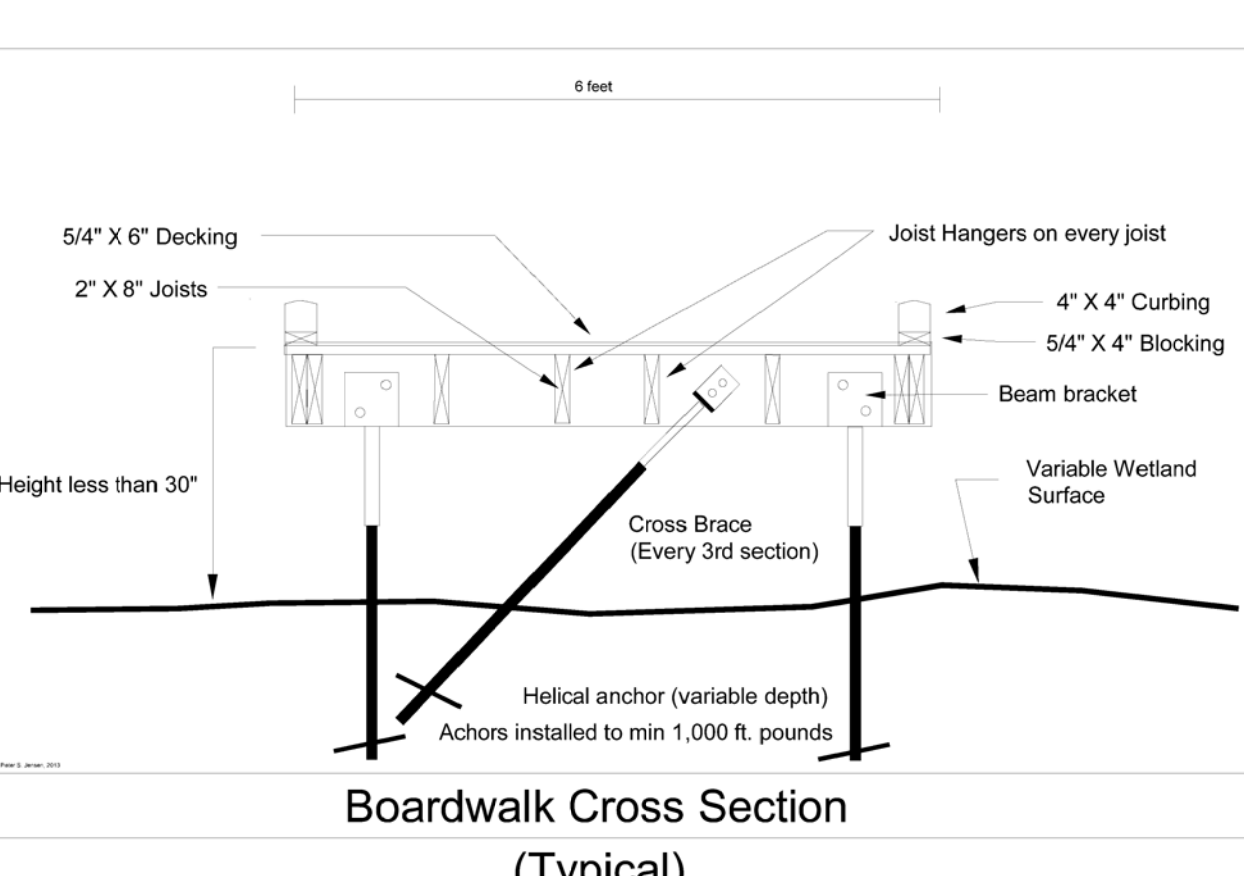
TYPICAL EROSION AND SEDIMENTATION CONTROL PLAN FOR INDIVIDUAL HOUSE CONSTRUCTION
N.T.S.



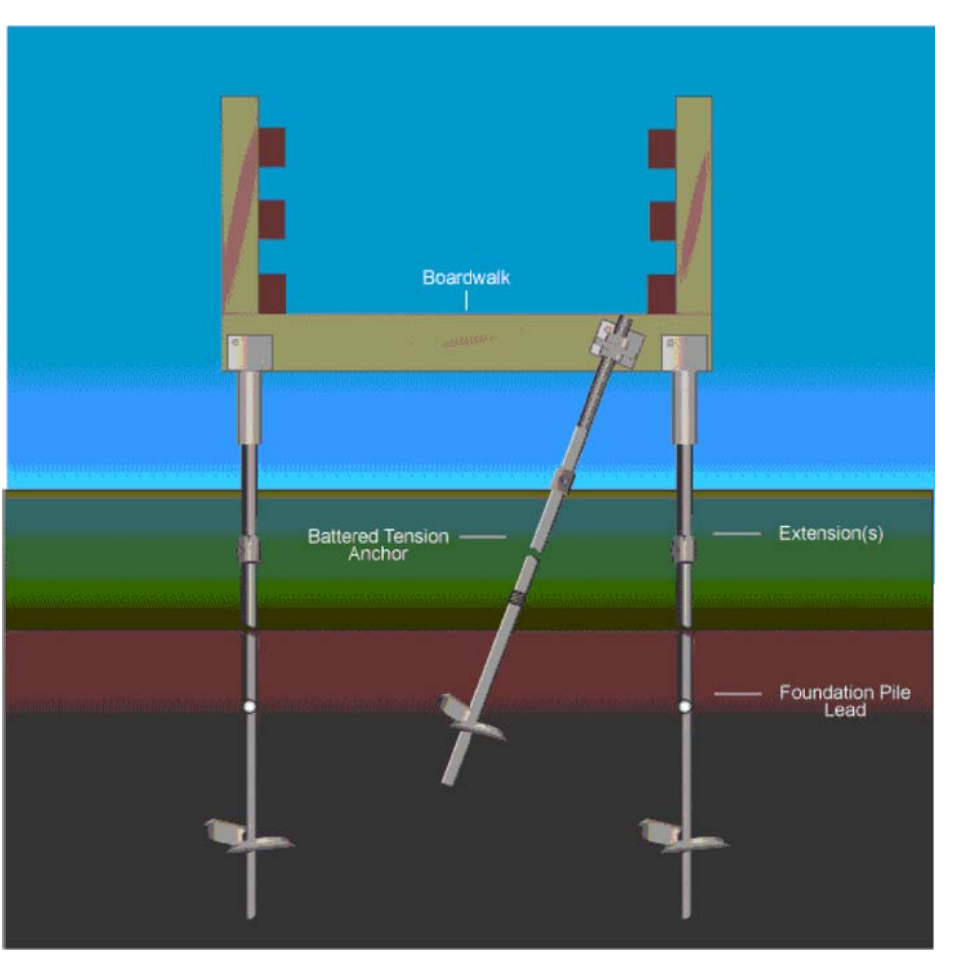
CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
N.T.S.

THICKNESS SHALL NOT BE LESS THAN FOUR (4) INCHES. AGGREGATE SIZE SHALL CONFORM TO ASTM C-33, SIZE NO. 2 OR 3, OR CONNECTICUT DOT 2" SIZE CRUSHED GRAVEL.

NOTE: SUBSURFACE DRAINAGE SHOULD BE INSTALLED AT ALL POORLY DRAINED LOCATIONS BEFORE INSTALLING THE STABILIZED ANTI-TRACKING PAD.



Boardwalk Cross Section (Typical)
N.T.S.



TYPICAL HELICAL PIER DETAIL (SUPPORT FOR BOARDWALK THROUGH WETLANDS)
N.T.S.

ARTHUR H. HOWLAND & ASSOCIATES, P.C.
CIVIL ENGINEERS • LAND SURVEYORS
SOIL SCIENTISTS • LAND PLANNERS
143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06779
PHONE: (860) 350-4418 • WEBSITE: WWW.AHHOWLAND.COM

Proposed Sedimentation & Erosion Control Details

The Premier Trust Inc.

Tax Map 5 Block 10 Lot 20
Area = 402,644 S.F. / 9.243 Ac.

157 Calhoun Street
Town of Washington
County of Litchfield
State of Connecticut

DATE: **October 22, 2021**

SCALE: **N.T.S.**

INCHES ON ORIGINAL

SHEET: **SES.1**