

# COMPLETENESS OF APPLICATION REPORT

## 82 Baldwin Hill Rd

### Construction of SFD, Detached Garage, Install New Septic System

Applicant Name: A. H. Howland for Angelo Agent Representation Letter: y

Application/Permit: #IW-22-01

X Fees Paid: \$120

X 8.5"x 11" Copy of USGS topo quadrangle with property outlined or pinpointed

X Signature of Property Owner w/date

X Yellow Pre App Form - Conservation Easement ●Letter from Easement Holder: n/a

X DEEP FORM – Part II Filled out

X Assessor's Information

Scale drawings of project and property that show the project in detail:

x Title block w/project name, owner, date, total acres, address and map drafter

x North Arrow

n/a Edge of Review Area/100' Setback

x Scale Bar – indicate not to scale if it is not

x Topographic Contour Lines

x Legend

x Dimensions and exact location of: proposed activity(s), material and soil stockpiles, erosion and sedimentation & controls, ingress & egress patterns

x Property Lines

x Wetland Boundaries

x Existing & Proposed Vegetation including limit of disturbance line

x Watercourses: direction flow, water depth & bottom characteristics

If a Soil Scientist is involved include: n/a

\_\_\_ His/Her Name

\_\_\_ Written Report

\_\_\_ Field Sketch

If Commission Requests:

\_\_\_ Site Plan showing wetland boundaries that have been flagged by CSS and surveyed/plotted by L.S.

### Administrative Comments:

- 1-6-2022 Application is complete - all required documents have been submitted.

# Town of Washington Inland Wetlands Commission

## PERMIT APPLICATION

Applicant's Name: Arthur H Howland & Associates, P.C. Date: January 5, 2022

Activity Address: 82 Baldwin Hill Road

### APPLICATION FOR:

- Regulated activity: Proposed single family residential home w/ detached garage and sanitary system
- Subdivision feasibility: # of lots \_\_\_\_\_
- Correction of a violation: \_\_\_\_\_  
*Permits to correct violations will expire at the end of time the period specified by Commission for remedial action.*
- Exemption: see separate form - *Application for an Exemption*
- Other -specify: \_\_\_\_\_

### FOR OFFICE USE ONLY

Date Submitted: 1-5-22 Received By: \_\_\_\_\_  Scanned  
Application #: 1W-22-1 IWC Date of Receipt: 1-12-22  
Fee Paid: 120  Cash  Check# 3180 Check date: 1-4-22 By: A.H.H  
Date (14 Days from Receipt) 1-24-22 65 Days from Receipt: 3-18-22  
Public Hearing Date: \_\_\_\_\_ Continued to: \_\_\_\_\_  
Extension Request Date : \_\_\_\_\_ Date Extension Ends : \_\_\_\_\_

### ACTION TAKEN:

- Application Withdrawn Date: \_\_\_\_\_ Comment: \_\_\_\_\_
- Denied Without Prejudice  Denied Date: \_\_\_\_\_ Reason: \_\_\_\_\_
- IWC Approval Date: \_\_\_\_\_  Agent Approval \_\_\_\_\_ Date: \_\_\_\_\_

Please complete the entire form as applicable. Attach supporting documentation. The applicant is responsible for providing all pertinent information and may be required to supply additional information and/or pay for expert consultation, beyond what is outlined on this form. To save time and avoid rejection of an application, read and use the ***Inland Wetland and Watercourses Regulations***, Town of Washington and the ***Applicant's Guide to Completing and Processing an Application for an Inland Wetlands Permit*** before applying.

Applications must be complete\* and submitted to the Land Use Office no later than 7 calendar days before the next regular scheduled meeting to allow sufficient time for administrative, public, and commissioner review. The application will be considered at the next regularly scheduled meeting. **Complete** applications submitted to the Land Use Office later than the specified deadline for that meeting, may be added to the agenda at the discretion of the Commission. Consideration of late applications will await preliminary review by the administrative staff as time permits. The schedule of meetings and times is posted at the Town Hall and at [www.WashingtonCt.org](http://www.WashingtonCt.org).

### \*To be considered "complete," the application must include:

- Yellow Mandatory Land Use Pre-Application Form signed by the property owner and if applicable, a letter from conservation easement holder
- All required forms, attachments and authorizations;
- Live (ink) signature(s) of the property owner(s);
- The Statewide Inland Wetlands and Watercourses Activity Reporting Form (Section II completed);
- A check, payable to the Town of Washington, for the **Application Fee** of \$60.00, **plus any other applicable fees from the posted Fee Schedule**, plus the required **State Tax** of \$60.00; **Total fee: \$120.00.**

\*\*\*ALL PLANS AND DRAWINGS MUST BE FOLDED TO FIT IN LEGAL SIZE FOLDER – UNFOLDED PLANS WILL NOT BE ACCEPTED\*\*\*

# Town of Washington Inland Wetlands Commission

## SECTION I: CONTACT INFORMATION

- 1) Name of Owner: Jesse Michael Angelo
- 2) Mailing Address: 82 Baldwin Hill Road  
City Washington Depot State: CT Zip: 06794
- 3) Telephone Home: ( ) \_\_\_\_\_ Cell: ( ) \_\_\_\_\_
- 4) Email: angelo.jesse@gmail.com
- 5) Authorized Agent (attach **mandatory** written authorization): See attached
- 6) Agent Address: 143 West Street, Suite E, New Milford, CT 06776
- 7) Agent's Home Telephone: ( ) \_\_\_\_\_ Business: (860) 354-9346
- 8) Agent's Email: pszymanski@ahhowland.com
- 9) Name, Address, Title and Phone Number of any Professional(s) or Contractor(s) to be involved in the project:  
Paul Szymanski, PE C/o Arthur H Howland & Associates, PC 860-354-9346  
143 West Street, Suite E, New Milford, CT 06776  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 10) All correspondence, notices, permits shall be sent to:  Property Owner  Agent

## SECTION II: PROPERTY INFORMATION

- 1) Address of Property: 82 Baldwin Hill Road
- 2) Assessor's Map, Lot Number(s): 05-10-18
- 3) Total Acreage: 7.25 +/-
- 4) Located in a Historic District?  Yes  No
- 5) Applicant's Interest in Property (circle one):  Owner  Developer  Option Holder  
Other (describe): Engineer

## SECTION III: PROJECT/ACTIVITY INFORMATION

- 1) Project/Activity Name (e.g. pond dredging, etc.): Proposed single family residential home with a detached garage, sanitary system, associated grading, plantings, drainage/stormwater features & other related appurtenances.
- 2) If the activity involves the installation or repair of a septic system(s):  
Has the Health Official approved the plan?  Yes  No Submitted to Health 12/29/2021
- 3) Total Wetland Acres: 0.3 Disturbed Wetland Acres: 0.00
- 4) Total Review Acres\*: 3.0 Disturbed Review Acres: 0.5  
*\* The review area is all land within 100 feet of all wetlands soils and watercourses/water bodies. Activities beyond the 100-foot review area, which have the potential to adversely affect wetlands and watercourses, are also subject to wetlands jurisdiction and permitting requirements.*
- 5) Linear Feet of Watercourse: 378 Linear Feet of Watercourse disturbed: 0
- 6) Square feet of proposed impervious surfaces (roads, buildings, parking, etc.): 6,760 sf
- 7) Does this project/activity comply with all applicable zoning regulations?  Yes  No

# Town of Washington Inland Wetlands Commission

## SECTION IV: PROJECT NARRATIVE

Attach separate sheet(s) if necessary

- 1) Proposed Activity (detailed description): Proposed construction of a single family residential home, detached garage and associated appurtenances.

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- 2) The proposed activity will involve the following within wetlands, a watercourse, and/or a review area:

Check all that apply:

- Alteration       Construction       Pollution       Deposition of Materials  
 Removal of Materials    Bridge or Culvert    Discharge To       Discharge From  
 Other (describe) \_\_\_\_\_

- 2) Amount, type, and location of materials to be removed, deposited or stockpiled: \_\_\_\_\_  
50 cy of clean fill and topsoil

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- 3) Description of proposed project, construction work sequence, machinery to be used, & duration of activities: Construction of a single family residential home with detached garage and sanitary system.

Machinery used: bobcat, and rubber track mini excavator

Approximatley 6 months to complete

Please see Sheet SD.1 Proposed Site Development & Septic System Installation Plan

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- 4) Describe alternatives considered and why the proposal described herein was chosen: \_\_\_\_\_  
An alternative would have been to move the house but that would have resulted in a greater disturbance to the wetlands setback areas.

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## SECTION V: ADJOINING MUNICIPALITIES & NOTICE

- 1) Check whether any of the following circumstances apply \*\*

- A portion of the property affected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.  
 A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.  
 Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.

**\*\*If any of these situations apply (are checked), the applicant is required to give written notice of his/her application to the Inland Wetlands Agency of the adjoining municipality, on the same day that he/she submits this application. Notification must be by Certified Mail with Return Receipt Requested.**

# Town of Washington Inland Wetlands Commission

## SECTION VI: ATTACHMENTS

Please attach the following along with any other pertinent information:

- 1) An 8.5" x 11" photocopy of the pertinent section of the USGS topographic quadrangle with the property outlined or pinpointed. *Note: USGS Topographic Quadrangle Map is available in the Land Use Office.*
- 2) Scale drawings of the project and property that show the project in detail. They should include the following:
  - a. Title block with project name, owner, date, total acres, address, and map drafter.
  - b. North arrow
  - c. Scale bar
  - d. Legend
  - e. Property lines
  - f. Wetland boundaries
  - g. Watercourses with direction of flow, water depth, & bottom characteristics (if applicable)
  - h. Edge of review area/100' setback.
  - i. Topographic contour lines
  - j. Dimensions and exact locations of proposed activities including material and soil stockpiles, erosion and sedimentation controls, ingress and egress patterns
  - k. Existing and proposed vegetation, including limit of disturbance line.
- 3) If a Soil Scientist is involved, his/her name, written report, and field sketch.
- 4) The Commission may, at its discretion, require an A-2 Survey showing wetland boundaries that have been flagged by a Certified Soil Scientist (CSS) and surveyed and plotted by a Licensed Surveyor.

## SECTION VII: CONSENT AND SIGNATURE(S)

The undersigned, as owner(s) of the property, hereby consents to necessary and proper inspections of the above mentioned property by Commissioners and agents of the Inland Wetlands Commission, Town of Washington, at reasonable times, both before and after a final decision has been issued by the Commission. The undersigned hereby certifies that the information provided in this application, including its supporting documentation, is true and he/she is aware of the penalties provided in Section 22a-376 of the Connecticut General Statutes for knowingly providing false or misleading information.

Jesse Michael Angelo

Print Name of Property Owner

JMA  
Signature of Property Owner (live ink)

January 3, 2022

Date

Print Name of Property Owner

Signature of Property Owner (live ink)

Date

**IN ORDER TO EXPEDITE THE PERMITTING PROCESS IT IS NECESSARY TO FILL OUT ALL SECTIONS OF THIS APPLICATION COMPLETELY.**

**\*\*\*INCOMPLETE APPLICATIONS CANNOT BE PROCESSED\*\*\***

**\*\*\*ALL PLANS AND DRAWINGS MUST BE FOLDED TO FIT IN LEGAL SIZE FOLDER – UNFOLDED PLANS WILL NOT BE ACCEPTED\*\*\***

**PROJECT DESCRIPTION:**

THE CONSTRUCTION OF A NEW HOUSE AND DETACHED GARAGE ARE PROPOSED AS SHOWN ON PLANS. FLOOR PLANS ARE TO BE SUBMITTED FOR REVIEW AND APPROVAL. THE PROPOSED SEPTIC LEACHING FIELDS ARE TO BE INSTALLED.

**DESIGN CRITERIA**

- 3 NUMBER OF EXISTING BEDROOMS
- 20 PERCOLATION RATE (MINUTES PER INCH)
- 22 DEPTH TO RESTRICTIVE LAYER (INCHES)
- 25.5 AVERAGE DEPTH TO RESTRICTIVE LAYER (INCHES)
- 8.1 HYDRAULIC GRADIENT (%)

**MLSS ANALYSIS:**

- 28 HYDRAULIC FACTOR (HF)
- 1.5 FLOW FACTOR (FF)
- 1.25 PERCOLATION FACTOR (PF)
- MLSS = HF x FF x PF

52.5 LF LEACHING SYSTEM SPREAD REQUIRED

100% OF MINIMUM LEACHING SYSTEM SPREAD PROVIDED

**PROPOSED SYSTEM DESIGN:**

- 65 LINEAL FEET OF 3 FEET WIDE BY 1.5 FOOT HIGH ELJEN MANTIS 536-8 UNITS, ELJEN MANTIS INSTALLATION MANUAL IS TO BE FOLLOWED FOR INSTALLATION.
- 675 EFFECTIVE LEACHING AREA REQUIRED (SQUARE FEET)
- 715 EFFECTIVE LEACHING AREA PROVIDED (SQUARE FEET)
- (65 LF x 11.0 SF/LF = 715 SF PROVIDED)
- 100% OF REQUIRED EFFECTIVE LEACHING AREA IS SUPPLIED
- 9000 SEPTIC TANK VOLUME (GALLONS)

**GENERAL NOTES:**

- 1. GRASS, ORGANICS, FILL AND ALL TOPSOIL IN THE PRIMARY LEACHING AREA ARE TO BE REMOVED PRIOR TO PLACEMENT OF SELECT FILL. AREA IS TO BE SCARIFIED AFTER STRIPPING TOPSOIL. HEAVY EQUIPMENT IS TO BE KEPT OUT OF THE PROPOSED SANITARY DISPOSAL SYSTEM AREAS.
- 2. USE APPROVED 2 COMPARTMENT SEPTIC TANK PLACED LEVEL WITH A MINIMUM OF 6 INCHES OF COVER. (H=20 LOADING IF PLACED UNDER DRIVE OR PARKING AREA.) TANK COVERS ARE TO BE EXTENDED TO GRADE AS REQUIRED. ALL NEWLY INSTALLED TANKS SHALL HAVE AN APPROVED NON-BYPASS EFFLUENT FILTER AT THE OUTLET.
- 3. LARGE TUBS AND GARAGE GRINDERS REQUIRE ADDITIONAL SEPTIC TANK LIQUID CAPACITY AND SHOULD BE SIZED ACCORDINGLY. GARAGE GRINDERS ARE NOT RECOMMENDED.
- 4. SET ALL DISTRIBUTION BOXES ON MINIMUM 12 INCH TRENCH STONE BASE.
- 5. NO AIR CONDITIONING, REFRIGERATION, WATER SOFTENER RESIDUES, SURFACE OR SUBSURFACE DRAINS ARE TO BE CONNECTED TO THE SANITARY DISPOSAL SYSTEM.
- 6. FOOTING DRAINS AND OUTLETS ARE TO BE A MINIMUM OF 25' FROM THE SANITARY DISPOSAL SYSTEM.
- 7. IF CURTAIN DRAIN IS SPECIFIED, IT SHALL BE INSTALLED PER TYPICAL DETAIL AND DESIGN PLANS.
- 8. THERE ARE NO KNOWN OR PROPOSED WELLS WITHIN 75' OF THE PROPOSED SANITARY DISPOSAL SYSTEM LEACHING FIELDS.
- 9. SELECT FILL SHALL BE COMPRISED OF CLEAN SAND & GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING CONNECTICUT PUBLIC HEALTH CODE REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:
  - 1. THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE.
  - 2. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
  - 3. THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
  - 4. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

Table with 3 columns: SIEVE SIZE, PERCENT PASSING(WET), PERCENT PASSING(DRY)

- NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- 10. THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH NECESSARY SELECT FILL. THE TOPSOIL IN THE LEACHING SYSTEM AREA MUST BE REMOVED AND THE SUBSOIL SCARIFIED PRIOR TO SELECT FILL PLACEMENT UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOIL FROM OVER COMPACTION OR DAMAGE. SELECT FILL SHALL EXTEND A MINIMUM OF FIVE (5) FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING SYSTEM.
- 11. THE INSTALLER SHALL PROVIDE A SIEVE ANALYSIS FOR ALL SELECT FILL USED ON SITE.
- 12. THE DEPTH OF FILL SHOWN ON THE PROFILE IS BASED UPON THE PROFILE SECTION LINE ONLY. MORE FILL MAY BE REQUIRED IN OTHER AREAS OF THE SEPTIC SYSTEM.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF PROPER SOIL EROSION AND SEDIMENTATION CONTROL MEASURES PER THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- 14. PRIOR TO THE START OF CONSTRUCTION THE PROJECT SURVEYOR IS TO SET A BENCHMARK IN THE SEPTIC AREA AND STAKE THE PROPOSED LEACHING FIELDS.
- 15. PERCOLATION TESTS HAVE BEEN CONDUCTED WITHIN 10 FEET OF THE CORRESPONDING DEEP TEST UNLESS OTHERWISE NOTED.
- 16. MODIFICATIONS TO THIS PLAN SHALL BE AUTHORIZED BY THE PROJECT ENGINEER AND APPROVED BY THE LOCAL DIRECTOR OF HEALTH.

**SPECIFIC NOTES:**

- 1. THE WASHINGTON HEALTH DEPARTMENT REQUIRES AN AS-BUILT BY THE DESIGN ENGINEER.
- 2. THE SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN IS TO BE INSTALLED.
- 3. THE EXISTING WELL WILL SERVICE THE NEW HOUSE.

**PERCOLATION TEST**

DATE: 2/24/2020  
INSPECTED BY: ARTHUR H. HOWLAND, P.C.

**PERC. HOLE #1**

Table with 2 columns: TIME(MINS.), DEPTH(INCHES)

**PERC. HOLE #3**

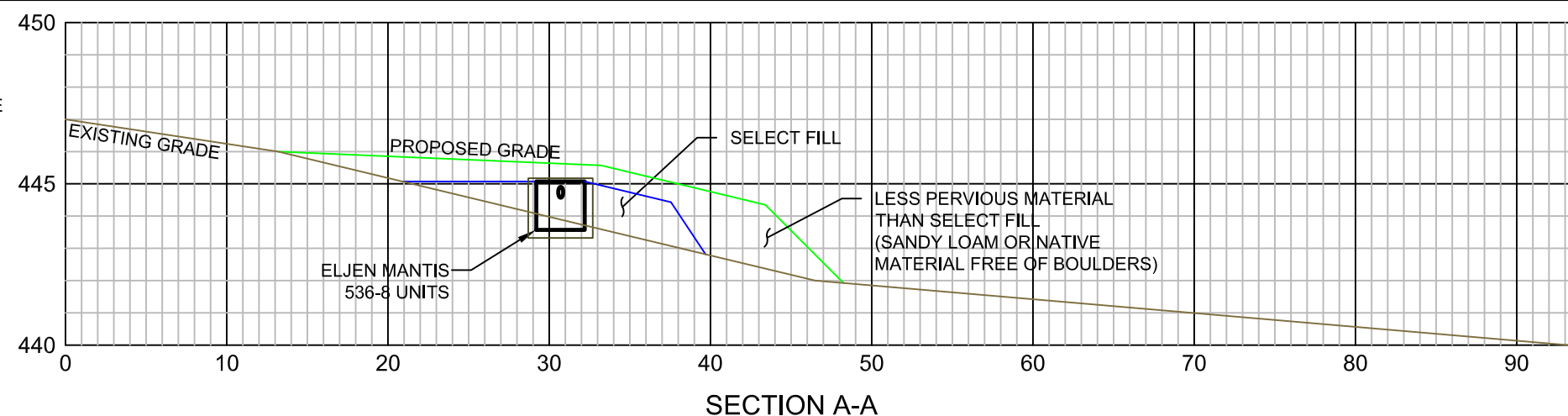
Table with 2 columns: TIME(MINS.), DEPTH(INCHES)

**SOIL INSPECTION RESULTS**

- OBSERVATION PIT NO. 1: 0" - 8" TOPSOIL, 8" - 24" ORANGE BROWN FINE SAND LOAM, 24" - 72" OLIVE BROWN MD. COMPACT FINE SAND LOAM, NO LEDGE OBSERVED, 24" MOTTLING OBSERVED, 24" GROUNDWATER OBSERVED, 40" ROOTS OBSERVED.
- OBSERVATION PIT NO. 2: 0" - 3" TOPSOIL, 3" - 22" ORANGE BROWN FINE SAND LOAM, 22" - 80" OLIVE BROWN MD. COMPACT FINE SAND LOAM, NO LEDGE OBSERVED, 22" MOTTLING OBSERVED, 22" GROUNDWATER OBSERVED, 40" ROOTS OBSERVED.
- OBSERVATION PIT NO. 3: 0" - 12" TOPSOIL, 12" - 29" ORANGE BROWN FINE SAND LOAM, 29" - 72" OLIVE BROWN MD. COMPACT FINE SAND LOAM, NO LEDGE OBSERVED, 29" MOTTLING OBSERVED, NO GROUNDWATER OBSERVED, 29" ROOTS OBSERVED.

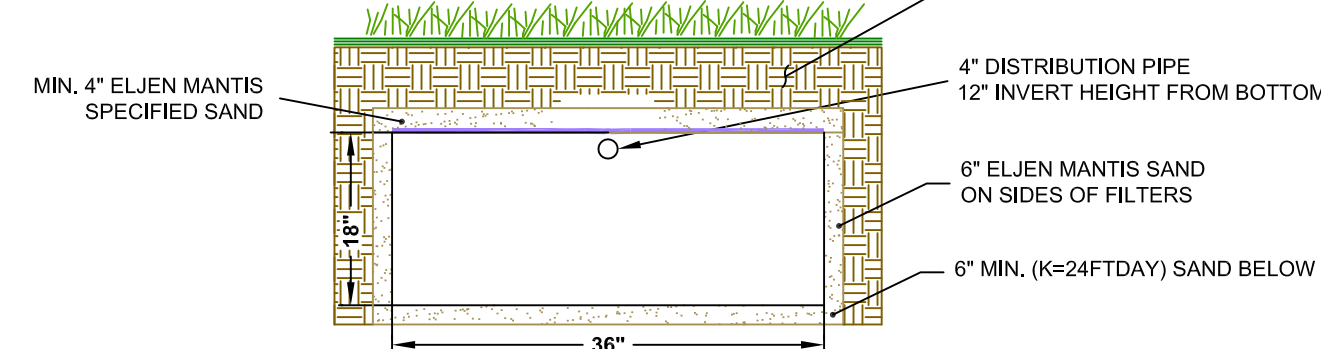
**PLACEMENT AND CONSTRUCTION OF A SILT FENCE BARRIER**

N.T.S.



SECTION A-A

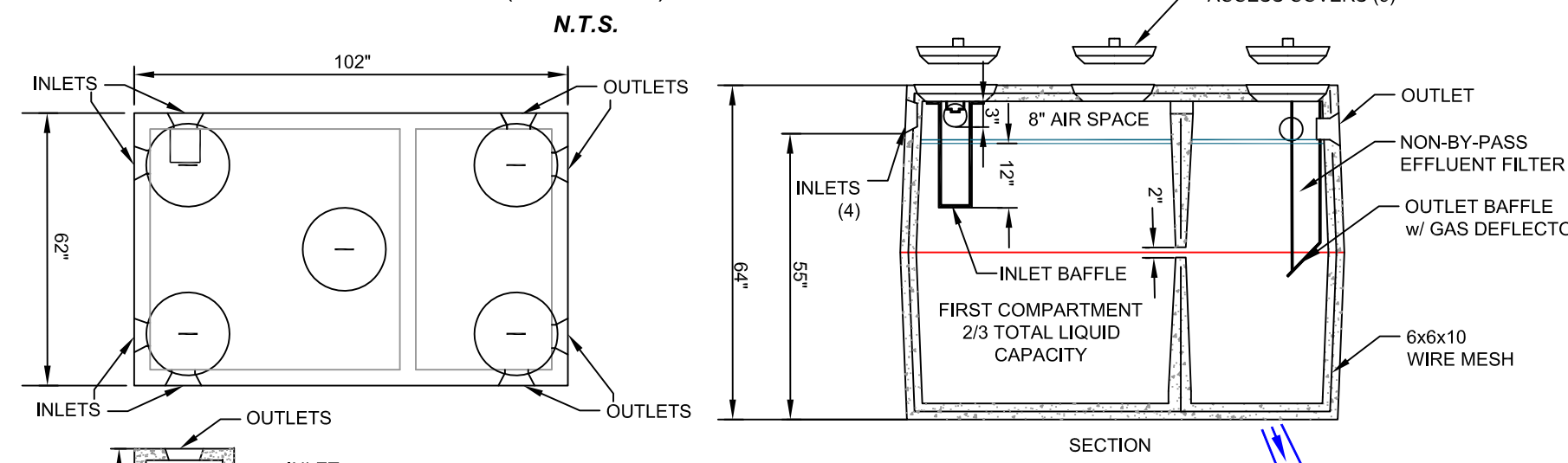
NOTE: ALL ORGANICS AND TOPSOIL REMOVED SHALL BE REPLACED WITH SELECT FILL.



MANTIS 536-8 12\"/>

(SIDE VIEW)

N.T.S.



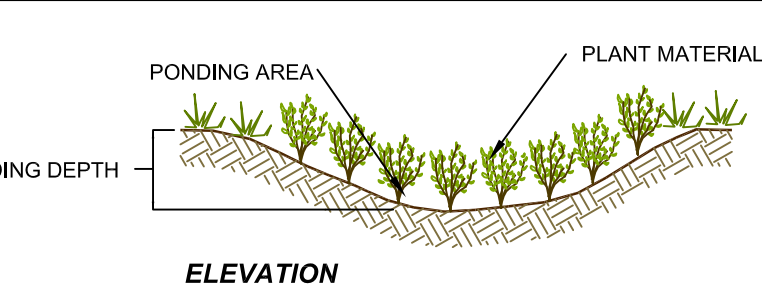
1,000 GALLON SEPTIC TANK (CONCRETE)

N.T.S.

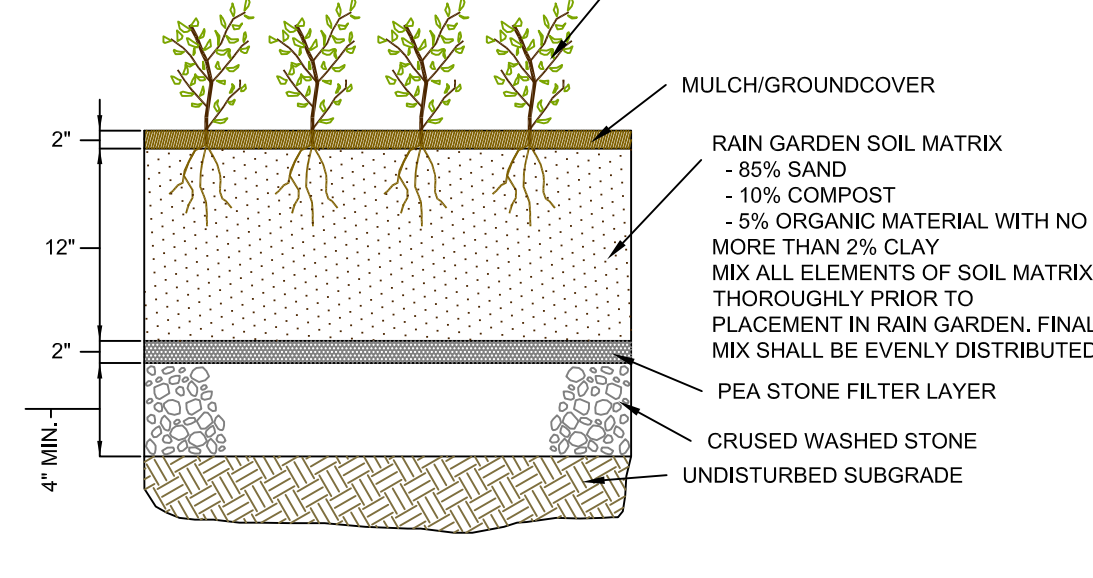
DISTRIBUTION BOX (CONCRETE)

N.T.S.

SEPTIC ELEVATION TABLE with columns: COMPONENT, MIN. INVERT ELEVATION (FT)



ELEVATION



SECTION

RAIN GARDEN

N.T.S.

NOTE: IF SUBSOIL IN AREA OF RAIN GARDEN BECOMES COMPACTED, OR IF A RESTRICTIVE LAYER IS ENCOUNTERED, THE SUBGRADE WILL BE TILLED, FRACTURED OR RIPPED TO ALLOW FOR INFILTRATION.

Rain Garden Planting Schedule - Sea Green Horticulture 1/31/2022 with columns: Quantity, Botanical Name, Common Name, Size, Spacing

**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**

- 1.1 THIS PROJECT INVOLVES THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, DETACHED GARAGE AND INSTALLATION OF A NEW SEPTIC SYSTEM. OTHER IMPROVEMENTS ALSO INCLUDED AS PART OF THIS PROJECT INCLUDE ASSOCIATED GRADING, PLANTINGS, DRAINAGE/STORM WATER FEATURES & OTHER RELATED APPURTENANCES.
- 1.2 THE AREA OF THE PROJECT SITE IS APPROXIMATELY 7.2 ACRES, OF WHICH ABOUT 0.5 ACRES ARE EXPECTED TO BE DISTURBED.
- 1.3 SPECIAL CARE SHOULD BE TAKEN ON THIS SITE TO ENSURE THAT THE CONSTRUCTION FENCE, SILT FENCE AND/OR HAY BALES ARE REPLACED PROMPTLY IF DAMAGED.
- 1.4 THE CONSTRUCTION OF THE NEW HOUSE AND ABOVE STATED APPURTENANCES AND ACTIVITIES ARE THE ONLY IMPROVEMENTS ASSOCIATED WITH THIS PROJECT.
- 1.5 ALL NECESSARY PERMITS SHALL BE ACQUIRED PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.
- 1.6.1 SOIL EROSION AND SEDIMENT CONTROL MEASURES
  - a. PRIOR TO COMMENCEMENT OF ANY DEMOLITION / CONSTRUCTION, ANY NECESSARY SURVEYING TO MARK BOUNDARY LINES AND/OR LIMITS OF CLEARING SHALL BE COMPLETED.
  - b. EROSION CONTROL MEASURES, AS SHOWN ON THE PLAN, SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF DEMOLITION / CONSTRUCTION. SAID MEASURES ARE TO BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED AND ALL SEEDING AREAS HAVE ESTABLISHED GROWTH.
  - c. ANY MATERIAL STORAGE PILES OUTSIDE THE IMMEDIATE DEMOLITION / CONSTRUCTION AREA SHALL HAVE A SILT FENCE OR APPROVED EQUAL SURROUNDING THEM TO CONFINE THE MATERIAL AND POSSIBLE EROSION.
  - d. THE DISTURBANCE OF LAND SHALL BE AS MINIMAL AS PRACTICABLE. RESTABILIZATION OF ALL AREAS SHALL OCCUR AS SOON AS POSSIBLE. IF DISTURBED AREAS ARE EXPOSED FOR MORE THAN 30 DAYS, IT SHALL BE TEMPORARILY SEEDING PER SECTION 5-3 OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AS AMENDED. IN THE EVENT THAT DEMOLITION / CONSTRUCTION OCCURS DURING TIMES WHEN SEEDING CAN NOT BE CARRIED OUT, ERODIBLE AREAS SHALL BE MULCHED WITH HAY OR HAVE NETTING INSTALLED AND MAINTAINED TO PREVENT EROSION.
  - e. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PRACTICES AS SET FORTH IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AS AMENDED.
  - f. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY. IF THE MEASURES ARE DAMAGED, THEY SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY.
  - g. IN ORDER TO PREVENT EROSION, EARTH SLOPES SHALL BE 2' (HORIZONTAL) TO 1' (VERTICAL) MAXIMUM. ALL 2'(H)/1'(V) SLOPES SHALL BE STABILIZED WITH BIODEGRADABLE MATTING OR APPROVED EQUAL.
  - h. IN ORDER TO CONTROL SEDIMENT, TEMPORARY BARRIERS, UTILIZING STAKED HAY BALES OR SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. ANY TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
  - i. ANY REQUIRED CULVERTS OR DRAINAGE FACILITIES SHALL BE OF PROPER CONSTRUCTION SO AS TO PREVENT EROSION DURING AND AFTER CONSTRUCTION.
  - j. ADDITIONAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AFTER THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND A REPRESENTATIVE FROM THE TOWN SHALL BE PRESENT.

**1.6.2 CONSTRUCTION NOTES AND SEQUENCE FOR CONSTRUCTION ACTIVITIES**

- 1. OBTAIN ALL NECESSARY PERMITS.
- 2. FLAG THE LIMITS OF CONSTRUCTION, AND TREE PROTECTION AREAS.
- 3. HOLD PRECONSTRUCTION MEETING (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
- 4. INSTALL EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLAN PRIOR TO CONSTRUCTION ACTIVITY (1 WEEK). THE LAND USE OFFICE WILL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK SO THAT THE EO CAN INSPECT AND APPROVE THE INSTALLATION OF THE EROSION CONTROL MEASURES.
- 5. INSTALL THE TEMPORARY ACCESS ENTRANCE/CONSTRUCTION ENTRANCE (1 DAY). EXPECTED MACHINERY TO BE USED INCLUDES: 330 EXCAVATOR, BOBCAT, RUBBER TRACK MINI-EXCAVATOR AND A TRI-AXEL DUMP TRUCK.
- 6. PREPARE FOR NEW HOUSE CONSTRUCTION. MAKE ALL CUTS AND FILLS REQUIRED. BENCH THE PROPOSED HOUSE AREA TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOTPRINT OF THE HOUSE FOR THE CONSTRUCTION ACTIVITIES (1 WEEK).
- 7. BEGIN CONSTRUCTION OF HOUSE AND DETACHED GARAGE. WITHIN TWO WEEKS OF ROOF COMPLETION, GUTTERS SHALL BE INSTALLED SO THAT THE RUNOFF CAN BE APPROPRIATELY HANDLED PER THE PLAN. (6 MONTHS).
- 8. PUMP EXISTING SEPTIC TANK EMPTY AND CRUSH OR REMOVE. INSTALL NEW SEPTIC SYSTEM. (2 WEEKS)
- 9. CONSTRUCT DRAINAGE PER PLANS. INSTALL ALL UNDERGROUND UTILITIES TO WITHIN 5 FEET OF THE HOUSE AT THIS TIME (1 WEEK).
- 10. PREPARE SUB-BASE, SLOPES, DRIVEWAY, AND ANY OTHER DISTURBANCE FOR FINAL GRADING (1 WEEK).
- 11. INSTALL PROCESSED AGGREGATE IN DRIVEWAY (1 WEEK).
- 12. PLACE TOPSOIL WHERE REQUIRED. COMPLETE ANY PROPOSED PERIMETER LANDSCAPE PLANTINGS (1 WEEK).
- 13. FINE GRADE, RAKE, SEED, AND MULCH TO WITHIN 2 FEET OF DRIVEWAY (1 WEEK).
- 14. UPON SUBSTANTIAL COMPLETION OF THE HOUSE, COMPLETE THE BALANCE OF SITE WORK AND APPLY STABILIZATION MEASURES (I.E. TOPSOIL, SEEDING, SODDING, MULCHING, ETC.) TO DISTURBED AREAS. FOLLOW SECTION 5-3 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (1 WEEK).
- 15. INSPECT AND CLEAN DRAINAGE AS NEEDED (1 DAY).
- 16. CLEAN UP ANY TRAPPED SEDIMENT AND PLACE IN AN AREA THAT WILL ALLOW IT TO BLEND INTO THE LANDSCAPE. REMOVE SES CONTROLS AT PROPER TIMES. (ONLY AFTER ALL CONSTRUCTION AREAS ARE STABILIZED.) (1 DAY)
- 17. AFTER DISTURBED AREAS ARE STABILIZED, REMOVE TEMPORARY PERIMETER EROSION CONTROLS (I.E. SILT FENCE, HAYBALES, ETC.) (3 DAYS).
- 18. REMOVE CONSTRUCTION ENTRANCE (1 DAY)

**LEGEND**

- EXISTING BOUNDARY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CONTOUR (10 FOOT)
- EXISTING CONTOUR (2 FOOT)
- EXISTING REGULATED AREA
- EXISTING STORM PIPE
- EXISTING EDGE OF PAVEMENT (ROAD)
- EXISTING EDGE OF DRIVEWAY
- EXISTING BUILDING/HOUSE
- EXISTING PORCH/DOCKING DOCK
- EXISTING WOOD FENCE
- EXISTING WIRE FENCE
- EXISTING RETAINING WALL
- EXISTING STONE WALL
- EXISTING SPOT ELEVATION
- EXISTING IRON PIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURE
- EXISTING WELL
- EXISTING DEEP TEST
- EXISTING PERC TEST
- EXISTING SEPTIC SYSTEM (PRIMARY)
- EXISTING WETLAND FLAG
- EXISTING WETLAND
- EXISTING LEDGE OUTCROP
- EXISTING LANDSCAPING OR TREELINE
- PROPOSED CONTOUR (10 FOOT)
- PROPOSED CONTOUR (2 FOOT)
- PROPOSED STORM PIPE
- PROPOSED EDGE OF PAVEMENT (DRIVEWAY)
- PROPOSED BUILDING/HOUSE
- PROPOSED IRON PIN
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SPOT ELEVATION
- PROPOSED STORM STRUCTURE
- PROPOSED SEPTIC SYSTEM (PRIMARY)
- PROPOSED RIPRAP
- PROPOSED CONSTRUCTION ENTRANCE

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on site or in the area shown. The size, location, and existence of all underground features must be field verified by the appropriate providers prior to construction. Call Before You Dig, 1-800-922-4455.

- 1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
- 2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS table with columns: NO., DATE, DESCRIPTION

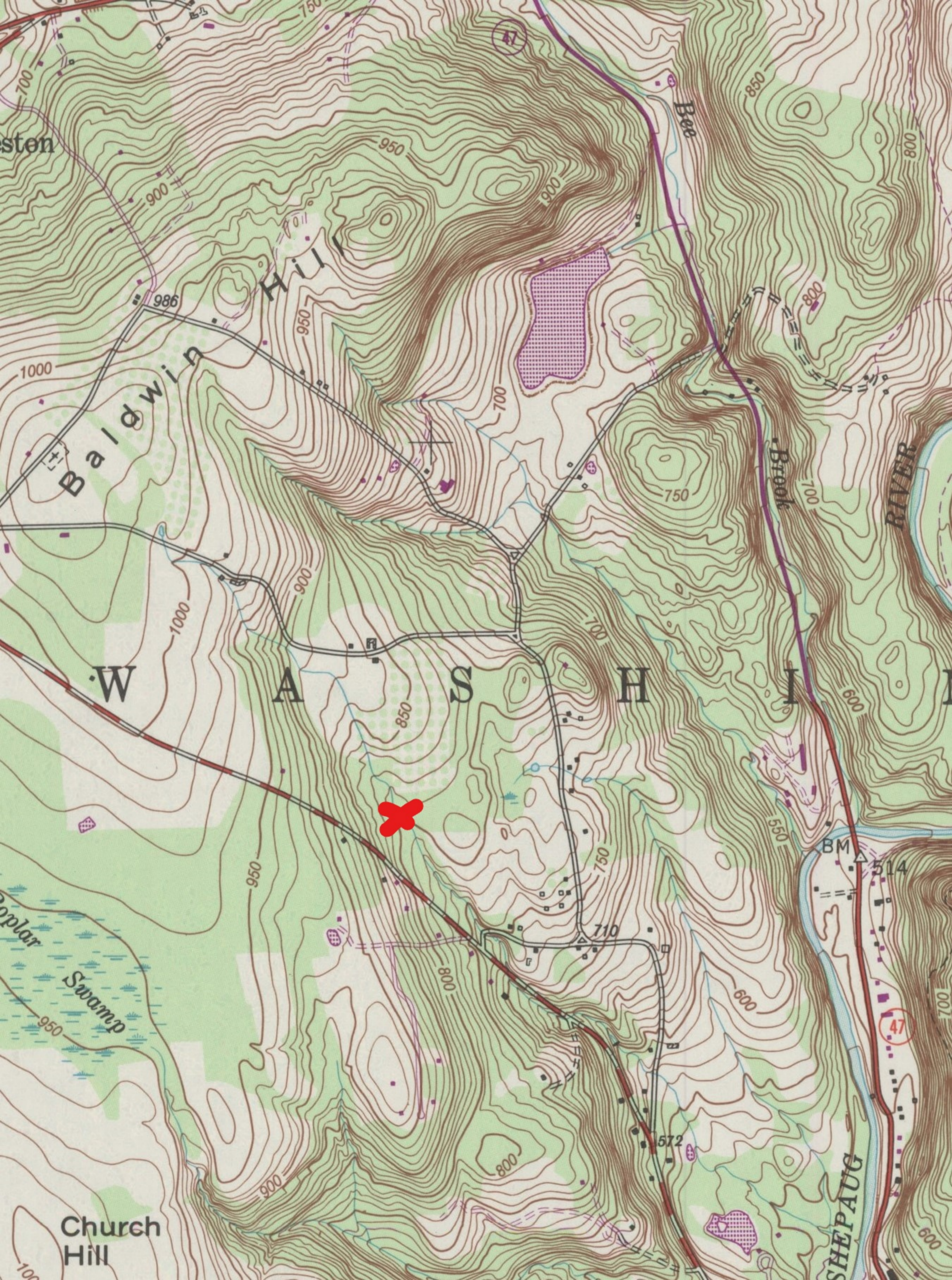
THIS MAP IS NOT AN A-2 SURVEY AND SHOULD NOT BE USED FOR ZONING COMPLIANCE. THIS PLAN IS TO BE USED TO DEMONSTRATE COMPLIANCE WITH THE STATE OF CONNECTICUT HEALTH CODE.

ARTHUR H. HOWLAND & ASSOCIATES, P.C. CIVIL ENGINEERS • LAND SURVEYORS SOIL SCIENTISTS • LAND PLANNERS 143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06776 PHONE: (860) 354-9548 • (860) 485-6535 • (860) 654-1107 FAX: (860) 350-4410 • WEB: WWW.AHHOWLAND.COM

**Proposed Site Development & Septic System Installation Plan**

for  
**Jesse Michael Angelo**  
Area = 317,254 S.F. / 7.2831 Ac.  
82 Baldwin Hill Road  
Town of Washington  
County of Litchfield  
State of Connecticut

DATE: December 3, 2021  
SCALE: 1" = 30'  
SHEET: SD.1



ston

Bee

1000

Baldwin Hills

986

Hills

956

700

750

Brook

W

A

S

H

I

L



850

700

BM

514

710

Poplar

Swamp

950

800

750

600

Church Hill

SHEPAUG

47

572

600